

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Council No. 12**

PH: Z14-048 (15-9-CZ12-A)

September 1, 2015

Item No. A

<b>Recommendation Summary</b>	
<b>Commission District</b>	7
<b>Applicants</b>	Maria Fanti
<b>Summary of Requests</b>	The applicant seeks to split the existing 1.5 acre parcel into two lots, with variances to the lot frontage, lot area and lot depth requirements. Additionally, the applicant seeks to permit proposed residences on the parcels with setback less than required from property lines, and with more lot coverage than allowed by the zoning district regulations and to permit access from a public street to a private easement.
<b>Location</b>	Lying approximately 141' south of SW 69 terrace, between theoretical SW 79 Avenue and SW 79 Court AKA 7001 SW 79 Court, Miami-Dade County, Florida.
<b>Property Size</b>	1.5 acres
<b>Existing Zoning</b>	EU-1, Single-Family One Acre Estate District
<b>Existing Land Use</b>	Vacant
<b>2020-2030 CDMP Land Use Designation</b>	Estate Density Residential, 1 to 2.5 dua <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b), Non-Use Variance standards <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Approval with conditions.</b>

The application was deferred from the June 9, 2015 hearing of Community Zoning Appeals Board (CZAB) #12 to allow the applicant to meet with staff. Subsequently, the application was deferred from the July 7, 2015 meeting of CZAB #12, with leave to amend to add an additional request.

**REQUESTS:**

REQUESTS #1 THROUGH  
#4 ON PARCEL "A"

1. NON-USE VARIANCE to permit proposed Parcel "A" with an area of 30,359 (43,560 sq. ft. required), a frontage of 50' (125' minimum required) and a lot depth of 160' (200' minimum required).
2. NON-USE VARIANCE to permit a lot coverage of 26% (20% maximum permitted).
3. NON-USE VARIANCE to permit the proposed building to setback 25' (50' required) from the front (east) property line and setback 23'-25" (25' required) from the rear (west) property line.
4. NON-USE VARIANCE of Zoning and Subdivision Regulations requiring lot frontage on a public street; to waive same to permit a lot with 0' frontage (125' required) on a public street, and to permit access to a public street by means of a private easement.

REQUESTS #5 AND 6 ON PARCEL "B"

5. NON-USE VARIANCE to permit the proposed Parcel "B" with an area of 37,455 sq. ft. (43,560 sq. ft. required).
6. NON-USE VARIANCE to permit a proposed lot coverage of 22.17% (20% maximum permitted).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources, entitled, "New Residence for Mr. & Mrs. Doner Garcia" as prepared by Richard Cortes Architect, with sheets SP-1 & SP-2 dated stamped received 06/19/15, sheets A-1.2, A-2.1 & L-1.2 dated stamped received 02/27/15, sheets A-1, A-2 & L-1 dated stamped received 01/29/15, sheet L-1 dated stamped received 11/6/14 and sheet A-4 dated stamped received 10/22/14 for a total of 10 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

In the July 2015 hearing, the application was deferred by the Board to allow an additional request created from the revision of the site plan showing access to the proposed residence on Parcel "A" through a private easement.

The subject property has a gross area of 69,056 sq. ft. (1.5 acres). The applicant seeks to subdivide the subject property into two (2) parcels (Parcel "A" and "B"). The site plan shows Parcel A with a proposed 7,896 sq. ft. single-family residence and Parcel B with a proposed 7,277 sq. ft. single-family residence. In addition, the applicant now seeks to vary the subdivision regulations to allow access to one of the parcels through a private easement.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	EU-1; vacant lots	Estate Density Residential (1 to 2.5 dua)
<b>North</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>South</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>East</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>West</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is zoned EU-1, Single-Family One Acre Estate District, and lying approximately south of SW 69 Terrace, between theoretical SW 79 Avenue and SW 79 Court. The area surrounding the subject property is primarily characterized by single-family residences developed under the EU-1 zoning district regulations.

### SUMMARY OF THE IMPACTS:

The approval of this application will allow the applicant to provide additional housing in this section of the County. However, approval of the requests could have a visual impact on the surrounding properties.

### COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:

The Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map designates the site for **Estate Density Residential**. Approval of these requests would result in the construction of two (2) single-family residential units on the 1.5-gross acre parcel, which meets the density threshold of the land use designation. Staff opines that because this application does not propose a use different from those allowed in this land use category, approval of the requests on Parcels "A" and "B" would be **consistent** with the uses allowed under the Estate Density Residential Land use category text and the density threshold of CDMP Estate Density Residential Communities LUP map designation.

### ZONING ANALYSIS:

The applicant has submitted a revised site plan on June 19, 2015, which shows the access to Parcel "A" through a proposed private access from SW 79 Court instead of from SW 70 Street. At the July 9, 2015 hearing, the Board deferred the application with leave to amend to add an additional variance pertaining to the change in access. Said variance is to permit Parcel "A" of the subject property with the reduced frontage and to permit access to a public street by means of a private easement (request #4), which was created by the revised site plan.

Requests #1 through #4 are related to Parcel A, and staff opines that approval of these requests would be **compatible** with the surrounding area for the reasons stated below. Staff was strongly opposed to the prior plans, which, with the reduced frontage, lot depth and lot area on Parcel A (request #1), showed a driveway access from the parcel at the intersection of SW 79 Avenue and SW 70 Street. As noted at that time, the Platting and Traffic Review Section indicated in its memorandum that this access drive would have a negative impact on the aforementioned roadways, SW 70 Street and SW 79 Avenue. As such, staff opined that the combined effect of the variances of lot size, lot frontage on Parcel A, with this driveway access, would have been too intensive and would be detrimental to the surrounding residential community. For the reasons stated herein, staff is supportive of the revised plans, which show access to Parcel A by a private easement drive that runs through Parcel "B", from SW 79 Court.

Staff's research of prior zoning approvals in this area indicated that other properties were approved for similar requests for variances of lot area and lot depth as being currently sought in request #1. Similarly, staff opines that approval of the requests for reduced lot coverage (request #2) and reduced setbacks (request #3) on Parcel "A", would not have a major visual impact on the surrounding residences that are located on parcels that vary in size from approximately 33,000 sq. ft. (.75-acres) to 99,000 sq. ft.. Further, staff opines that the approval of these variances in requests #1 through #3, would not be out of character with other approvals of lot area, lot coverage and lot depth in this area. Staff opines that the proposed private easement to Parcel "A" from SW 79 Court, which is the subject of request #4, sufficiently reduces any impact on traffic on the abutting roadways (SW 79 Avenue and SW 70 Street), which previously, staff opined could have had a detrimental effect on the surrounding area. Although the request advertised a variance for zero feet of frontage, staff notes that the actual

frontage being proposed on Parcel "A" is 50'. Therefore, although the proposed development of two (2) separate residential sites with the variances being requested herein on both parcels could be deemed to be more intensive than that allowed by the EU-1 zoning district regulations, staff opines that the greatest negative impact from the prior plans would have been the impact on vehicular and pedestrian traffic along SW 70 Street and SW 79 Avenue, and that potential impact would be mitigated, in staff's opinion, by the proposed private easement in the revised plans. In light of this, staff opines that the approval of the requests on Parcel "A" would be **compatible** with the surrounding residential parcels developed under the EU-1 zoning district regulations. **Staff therefore, recommends approval with conditions of requests #1 through #3, under the Non-Use Variance standards, Section 33-311(A)(4)(b).**

In analyzing requests on Parcel "B" to permit a lot area of 37,455 sq. ft. (43,560 sq. ft. required) (request #5) and to permit a proposed lot coverage of 22.17% (20% maximum permitted) (request #6), under the Non-Use Variance (NUV) Standards, staff opines that these requests are contingent on the approval of requests #1 through #4 on Parcel "A", of which for the reasons stated above, staff has recommended approval. Staff notes that the proposed lot area and lot coverage (requests #5 and #6) on this parcel (Parcel "B"), is similar to that being requested on Parcel "A" to the west. Therefore, staff opines that approval of the requests would not be detrimental to the neighboring property or with the surrounding area. As such, staff opines that these requests for Parcel B are inextricably intertwined with the requests on Parcel A and that approval of the application would maintain the basic intent of the zoning, subdivision and other land use regulations, and would be **compatible** with surrounding area. **Staff therefore, recommends approval with conditions of requests #4 and #5 under the Non-Use Variance standards, Section 33-311(A)(4)(b).**

**Based on the foregoing analysis, staff recommends that the application be approved with conditions under the NUV Standards, Section 33-311(A)(4)(b).**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

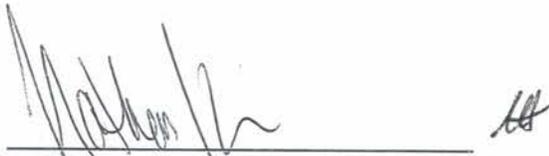
**RECOMMENDATION:** Approval with conditions.

**CONDITIONS FOR APPROVAL:**

1. That a site plan be submitted to and meet with the approval of the Director upon the submittal of an application for a building permit; said plan to include among other things but not be limited thereto, location of structure or structures, types, sizes and location of exits and entrances, drainage, walls, fences, landscaping, etc.
2. That in the approval of the plan, the same be substantially in accordance with that submitted for the hearing entitled "New Residence for Mr. & Mrs. Doner Garcia" as prepared by Richard Cortes Architect, with sheets SP-1 & SP-2 dated stamped received 06/19/15, sheets A-1.2, A-2.1 & L-1.2 dated stamped received 02/27/15, sheets A-1, A-2 & L-1 dated stamped received 01/29/15, sheet L-1 dated stamped received 11/6/14 and sheet A-4 dated stamped received 10/22/14 for a total of 10 sheets.

3. That the use be established and maintained in accordance with the approved plan.
4. That the applicant submit to the Department for its review and approval a landscaping plan which indicates the type and size of plant material prior to the issuance of a building permit and to be installed prior to the issuance of a Certificate of Use.
5. That the applicant comply with all applicable conditions and requirements, if applicable, from the Division of Environmental Resources Management (DERM) of (RER) memoranda dated March 16, 2015.
6. That the applicant comply with all applicable conditions and requirements, if applicable from the Platting and Traffic Section of (RER) dated June 29, 2015.

NK:MW:NN:JV:EJ



Nathan Kogon, AICP, Assistant Director  
Development Services Division  
Miami-Dade County  
Department of Regulatory and Economic Resources

# ZONING RECOMMENDATION ADDENDUM

Applicant: Maria Fanti  
PH: Z14-048

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resource Management (RER)	*No objection
Platting and Traffic Review Section (RER)	*No objection
Parks	No objection
Fire Rescue	No objection
Police	No comment
Public Works and Waste Management Department	No comment
Schools	No comment
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p><b>Estate Density Residential (Pg. I-31)</b></p>	<p><i>The Adopted 2020 and 2030 Land Use Plan designates the subject property as being within the Urban Development Boundary for Estate Density Residential use. This density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 dwelling units per gross acre.</i></p>
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## PERTINENT ZONING REQUIREMENTS/STANDARDS

<p><b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</b></p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for <b>non-use variances</b> from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>
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A. MARIA FANTI  
(Applicant)

15-6-CZ12-1 (14-048)  
Area 12/District 07  
Hearing Date: 09/01/15

Property Owner (if different from applicant) Same.

Is there an option to purchase  /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
None				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

MIAMI-DADE COUNTY  
COMMUNITY ZONING APPEALS BOARD - AREA 12  
MOTION SLIP

#B

APPLICANT'S NAME: MARIA FANTI

REPRESENTATIVE: RICHARD CORTES

HEARING NUMBER	HEARING DATE	RESOLUTION NUMBER		
14-4-CZ12-1 (14-048)	July 7, 2015	CZAB12	22	15

**REC: Denial without prejudice**

<input type="checkbox"/> WITHDRAW:	<input type="checkbox"/> APPLICATION	<input type="checkbox"/> ITEM(S): _____
<input checked="" type="checkbox"/> DEFER:	<input type="checkbox"/> INDEFINITELY	<input checked="" type="checkbox"/> TO: <u>9/1/15</u> <input checked="" type="checkbox"/> W/LEAVE TO AMEND
<input type="checkbox"/> DENY:	<input type="checkbox"/> WITH PREJUDICE	<input type="checkbox"/> WITHOUT PREJUDICE
<input type="checkbox"/> ACCEPT PROFFERED COVENANT	<input type="checkbox"/> ACCEPT REVISED PLANS	
<input type="checkbox"/> APPROVE:	<input type="checkbox"/> PER REQUEST	<input type="checkbox"/> PER DEPARTMENT <input type="checkbox"/> PER D.I.C.
	<input type="checkbox"/> WITH CONDITIONS	
<input type="checkbox"/>		

TITLE	M/S	NAME	YES	NO	ABSENT
COUNCIL WOMAN		Peggy <b>BRODEUR</b>			X
COUNCILMAN		Javier <b>GONZALEZ-ABREU</b>	X		
COUNCILMAN	<b>S</b>	Matthew <b>LARSH</b>	X		
COUNCILMAN		Alberto <b>SANTANA</b>			X
VICE CHAIRWOMAN		Angela M. <b>VAZQUEZ</b>	X		
COUNCILMAN	<b>M</b>	Elliot N. <b>ZACK</b>	X		
CHAIRMAN		Jose I. <b>VALDES</b> (C.A.)	X		
			5	0	

EXHIBITS:  YES  NO

COUNTY ATTORNEY: LAUREN MORSE

**MIAMI-DADE COUNTY  
COMMUNITY ZONING APPEALS BOARD - AREA 12  
MOTION SLIP**

**#1**

APPLICANT'S NAME: MARIA FANTI

REPRESENTATIVE: RICHARD CORTES

HEARING NUMBER	HEARING DATE	RESOLUTION NUMBER		
15-6-CZ12-1 (14-048)	June 9, 2015	CZAB12	17	15

**REC: Denial without prejudice.**

<input type="checkbox"/> WITHDRAW:	<input type="checkbox"/> APPLICATION	<input type="checkbox"/> ITEM(S): _____
<input checked="" type="checkbox"/> DEFER:	<input type="checkbox"/> INDEFINITELY	<input checked="" type="checkbox"/> TO: <u>7/7/15</u> <input checked="" type="checkbox"/> W/LEAVE TO AMEND
<input type="checkbox"/> DENY:	<input type="checkbox"/> WITH PREJUDICE	<input type="checkbox"/> WITHOUT PREJUDICE
<input type="checkbox"/> ACCEPT PROFFERED COVENANT	<input type="checkbox"/> ACCEPT REVISED PLANS	
<input type="checkbox"/> APPROVE:	<input type="checkbox"/> PER REQUEST	<input type="checkbox"/> PER DEPARTMENT <input type="checkbox"/> PER D.I.C.
	<input type="checkbox"/> WITH CONDITIONS	
<input checked="" type="checkbox"/> OTHER:	Deferred so that applicant can work with the Platting and Traffic Review Section of RER to develop solution for the location of the proposed driveway.	

TITLE	M/S	NAME	YES	NO	ABSENT
COUNCIL WOMAN		Peggy BRODEUR			X
COUNCILMAN		Javier GONZALEZ-ABREU			X
COUNCILMAN	M	Matthew LARSH	X		
COUNCILMAN		Alberto SANTANA	X		
VICE CHAIRWOMAN	S	Angela M. VAZQUEZ	X		
COUNCILMAN		Elliot N. ZACK	X		
CHAIRMAN		Jose I. VALDES (C.A.)	X		
VOTE:			5	0	

EXHIBITS:  YES  NO

COUNTY ATTORNEY: Sabrina Levin

# Memorandum



**Date:** March 16, 2015

**To:** Jack Osterholt, Deputy Mayor/Director  
Department of Regulatory and Economic Resources

**From:** Jose Gonzalez, P.E.  
Department of Regulatory and Economic Resources 

**Subject:** C-12 #Z2014000048-2<sup>nd</sup> Revision  
Maria Fanti  
7001 SW 79<sup>th</sup> Court, Miami, FL 33143  
7900 SW 70 Street, Miami, FL 33143  
Non-Use Variance of lot area and lot frontage requirements.  
(EU-1) (1.57 Acres)  
27-54-40

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The subject application has been reviewed by the Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

#### Wellfield Protection

The subject property is located within the Basic Wellfield Protection Area for the Alexander Orr Wellfield. The site is situated within the 100-day and 210-day travel time contour of the Alexander Orr Wellfield. Therefore, development on the subject property shall be in accordance with regulations established in Section 24-43 of the Code.

As per the Code, resources that generate, handle, dispose of, discharge or store hazardous materials are not allowed on the property. Applicant is advised that the only fuel allowed for the proposed generator is natural gas.

#### Potable Water Service

##### **Parcel "A":**

Public water is not available to the subject property. DERM has no objection to this type of low intensity development served by an individual water supply system, provided that groundwater quality in the area is such that drinking water standards can be met by the proposed water supply system. A minimum separation distance of 100 feet is required between any well and all septic tank drainfields, all surface waters and any other source of contamination.

##### **Parcel "B":**

The closest public water main is located approximately 390 feet from the subject property. Based on the proposed request, the subject property is within feasible distance for connection to public water. Therefore, connection of the proposed development on Parcel "B" to the public water supply system shall be required in accordance with the Code requirements. The required water main extension permit is issued by the Florida Department of Health. Civil drawings for the proposed water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Plan Review Specialty Section of DERM.

### Wastewater Disposal

#### **Parcel "A":**

Public sanitary sewers are not located within feasible distance for connection to the subject property. Consequently, any proposed development would have to be served by a septic tank and drainfield as a means for the disposal of domestic liquid waste. DERM has no objection to the interim use of a septic tank and drainfield, provided that the maximum sewage loading allowed by Section 24-43.1(3) of the Code is not exceeded. Based on available information, the proposed single-family residence or duplex served by a septic tank would not exceed the maximum allowable sewage loading for the subject property.

### Wastewater Disposal

#### **Parcel "B":**

Public sanitary sewers are not located within feasible distance for connection to the subject property; consequently, any proposed development would have to be served by a septic tank and drainfield as a means for the disposal of domestic liquid waste. DERM has no objection to the interim use of a septic tank and drainfield provided that the maximum sewage loading allowed by Section 24-43.1(3) of the Code is not exceeded and the property is connected to public water. Based on available information, the proposed single-family residence or duplex served by a septic tank would not exceed the maximum allowable sewage loading for the subject property.

### Stormwater Management

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Drainage restrictions may be applicable, since the site is located within the 100-day and 210-day travel time contour of the Alexander Orr Wellfield.

### Tree Preservation

The subject properties contain specimen-sized (trunk diameter 18 inches or greater) trees. Please note that Section 24-49 of the Code and CON 8A of the CDMP provide for the preservation and protection of specimen trees. Projects shall be designed to meet the requirements of Sections 24-49.2 and 24-49.4 of the Code including compliance with the specimen tree preservation requirements of the Code as well as CON 8A of the Comprehensive Development Master Plan. The landscape plans submitted depict specimen sized trees to be preserved on-site however non specimen trees will be removed.

A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code.

Finally, in accordance with the Code and CON8I of the CDMP, all plants prohibited by the Code shall be removed from all portions of the property prior to development, or redevelopment and developed

parcels shall be maintained to prevent the growth or accumulation of prohibited species. DERM also recommends that this requirement be included as a condition of any zoning approval.

The applicant is advised to contact Tree Permitting Program at (305) 372-6574 for additional information regarding permitting procedures and requirements.

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

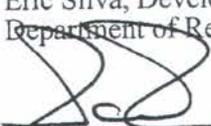
cc: Nathan Kogon, Department of Regulatory and Economic Resources

# Memorandum



**Date:** June 29, 2015

**To:** Eric Silva, Development Coordinator  
Department of Regulatory and Economic Resources

**From:**   
~~Kaul A. Pina, PLS, Chief~~  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

**Subject:** Z2014000048  
Name: Maria Fanti  
Location: 9001 SW 79 Court  
Section 27 Township 54 South Range 40 East

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The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and does not object.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedications and/or improvements required will be accomplished thru the recording of a plat.

This application **does** meet the traffic concurrency criteria for an Initial Development Order. It will generate **2 PM** daily peak hour vehicle trips. The traffic distribution of these trips to the adjacent roadways reveals that the addition of these new trips **does not** exceed the acceptable level of service of the following roadways:

Sta.#		LOS present	LOS w/project
F-1068	SW 72 St. w/o Palmetto Expwy	C	C

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

# Memorandum



**Date:** May 21, 2014

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources Department

**From:**   
Paul Mauriello, Assistant Director, Waste Operations  
Public Works and Waste Management Department

**Subject:** Maria Fanti (#14\_048)

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The Department's review of the above-referenced item is provided below. Additional comments will be provided as needed. If you should have any questions, please do not hesitate to contact Stacey McDuffie, Manager of the Fiscal Management and Planning Division, at 305-514-6661. **The PWWM has no objections to the proposed application.**

**Application:** *Maria Fanti* is requesting a use variance to divide a lot with two separate folio numbers in two halves and allow two separate residences. The property is currently zoned Estates, single family (EU-1).

**Size:** The subject property is 1.57 acres.

**Location:** The subject property is located at 7001 SW 79<sup>th</sup> Court, in Miami-Dade County, Florida.

## **Analysis:**

### 1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 25, 2013, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Regulatory and Economic Resources Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

### 2. Garbage and Trash Collection Services

Pursuant to Chapter 15 of the Miami-Dade County Code (Code), entitled Solid Waste Management the single family residences to be developed on the property will meet the County Code definition of residential units. As such, according to the Code, the residential units will

receive PWWM waste collection service. Twice weekly curbside waste collection, twice per year scheduled bulky waste collection service, and unlimited use of the 13 Trash and Recycling Centers are the services currently provided to residential units in the PWWM solid waste collection service area.

### 3. Recycling

The PWWM provides curbside recycling services to **residential units** located in unincorporated Miami-Dade County through a private contractor. The single stream recycling program currently includes separation of glass, aluminum cans, steel cans, plastic bottles, newspaper and phone books. Further information may be obtained by calling the Department's Public Information & Outreach Division at 305-594-1500 or 305-514-6714.

Applicants are **strongly** advised to incorporate adequate space in their building plans to accommodate the recycling program (i.e. somewhere for residents to store their recycling carts).

### 4. Waste Storage/Setout Considerations

**Section 15-4** of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

### 5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection.

# Memorandum



**Date:** June 30, 2015

**To:** Jack Osterholt, Deputy Mayor  
Director, Regulatory and Economic Resources Department

**From:** Maria I. Nardi, Chief *M.I.*  
Planning and Research Division  
Parks, Recreation and Open Spaces Department

**Subject:** Z2014000048: MARIA FANTI  
Revised Plans Submitted Dated Stamped Received 6/19/2015

---

**Application Name:** MARIA FANTI

**Project Location:** The site is located at 9001 SW 79 CT, Miami-Dade County.

**Proposed Development:** The request is for a non-use variance(s) for a lot split.

**Impact and demand:** This application proposes a development of 2 residential dwelling units resulting in a de minimis impact to Level of Service. The site is located in Park Benefit District 2 which has a surplus of 504.72 acres of local parkland and therefore meets concurrency when analyzed in terms of (2.75) acres per 1,000 unincorporated areas residents within this Park Benefits District.

**Recommendation:** Based on our findings described herein **PROS HAS NO OBJECTION TO THIS APPLICATION**

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Planning Section Supervisor



# Memorandum

**Date:** 29-JUL-15  
**To:** Jack Osterholt, Director  
 Department of Regulatory and Economic Resources  
**From:** Dave Downey, Fire Chief  
 Miami-Dade Fire Rescue Department  
**Subject:** Z2014000048

**Recommendation:**

No objection to the site plan with a 6/19/15 RER received date.

**Service Impact/Demand**

Development for the above Z2014000048 located at LYING APPROXIMATELY 141' SOUTH OF SW 69 TERRACE, BETWEEN THEORETICALLY SW 79 AVENUE & SW 79 COURT, AKA 7001 SW SW 79 CT, MIAMI-DADE COUNTY, FLORIDA.

in Police Grid 1713 is proposed as the following:

<u>2</u>	dwelling units	<u>N/A</u>	square feet
residential		industrial	
<u>N/A</u>	square feet	<u>N/A</u>	square feet
Office		institutional	
<u>N/A</u>	square feet	<u>N/A</u>	square feet
Retail		nursing home/hospitals	

Based on this development information, estimated service impact is: No Impact. 0.54 alarms-annually.

**Existing services**

The Fire station responding to an alarm in the proposed development will be: Station # 13  
 The estimated average travel time is: 5:56 minutes

**Planned Service Expansions:**

The following stations/units are planned in the vicinity of this development: None

**Fire Planning Additional Comments**

OK

For information regarding the aforementioned comments, please contact the Miami-Dade Fire Rescue Department Planning Section at 786-331-4540.

# ***Building and Neighborhood Compliance***

## **ENFORCEMENT HISTORY**

MARIA FANTI

141' SOUTH OF SW 69 TER, BETWEEN SW 79 AVE &  
79 CT  
MIAMI-DADE COUNTY, FLORIDA

---

APPLICANT

ADDRESS

JULY 7, 2015

Z2014000048

---

DATE

HEARING NUMBER

**REVIEW DATE OF CURRENT ENFORCEMENT HISTORY:**

JULY 2, 2015

**NEIGHBORHOOD REGULATIONS:**

THERE ARE NO CURRENT OPEN OR CLOSED CASES

**BUILDING SUPPORT REGULATIONS:**

THERE ARE NO CURRENT OPEN OR CLOSED CASES

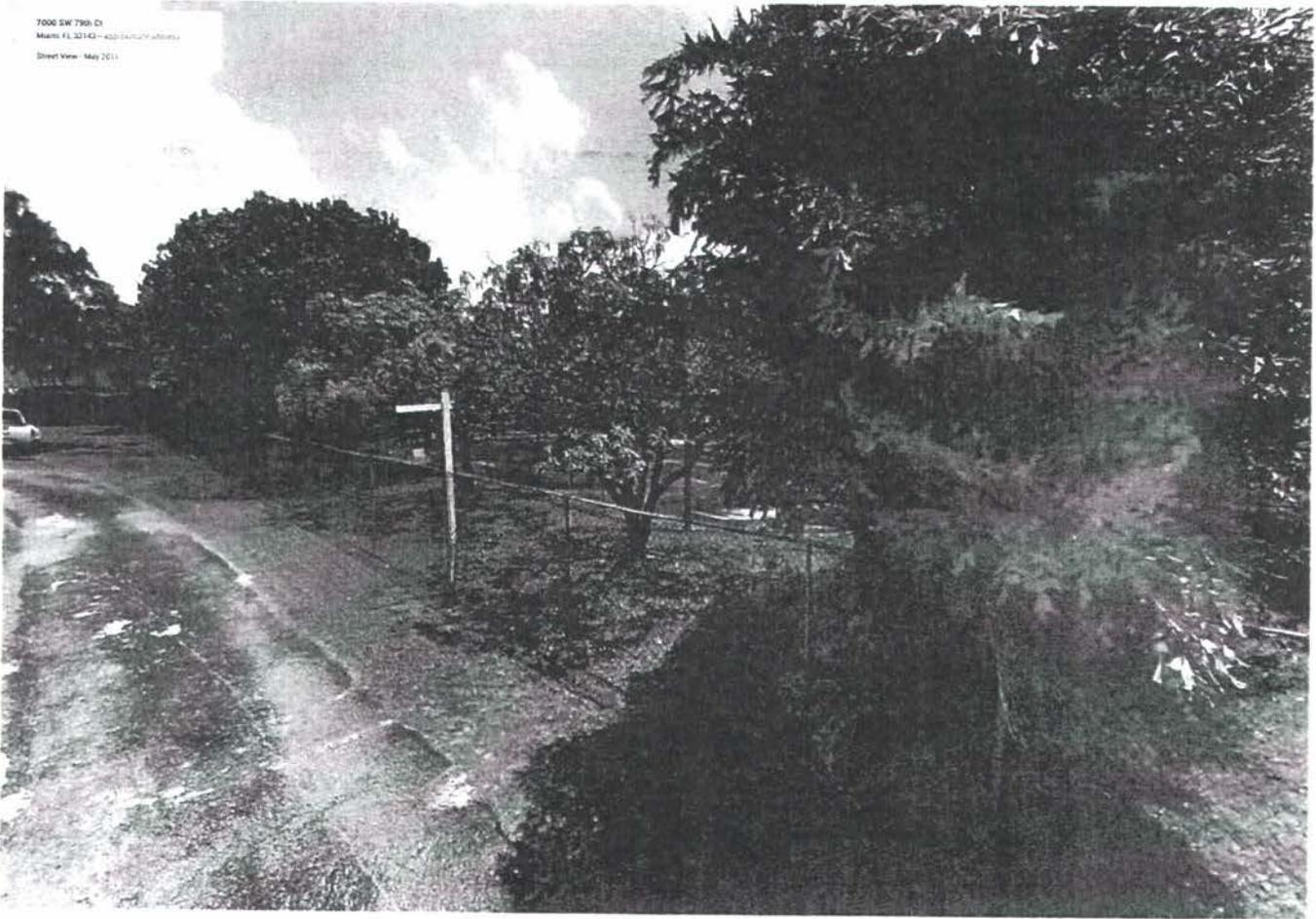
**VIOLATOR:**

MARIA FANTI

**OUTSTANDING LIENS AND FINES:**

AS OF JULY 2, 2015, THERE ARE NO OUTSTANDING LIENS OR FINES

7000 SW 79th Ct  
Miami, FL 33143 - esp@arcadis.com  
Sheet View: May 2011



Z14-04B

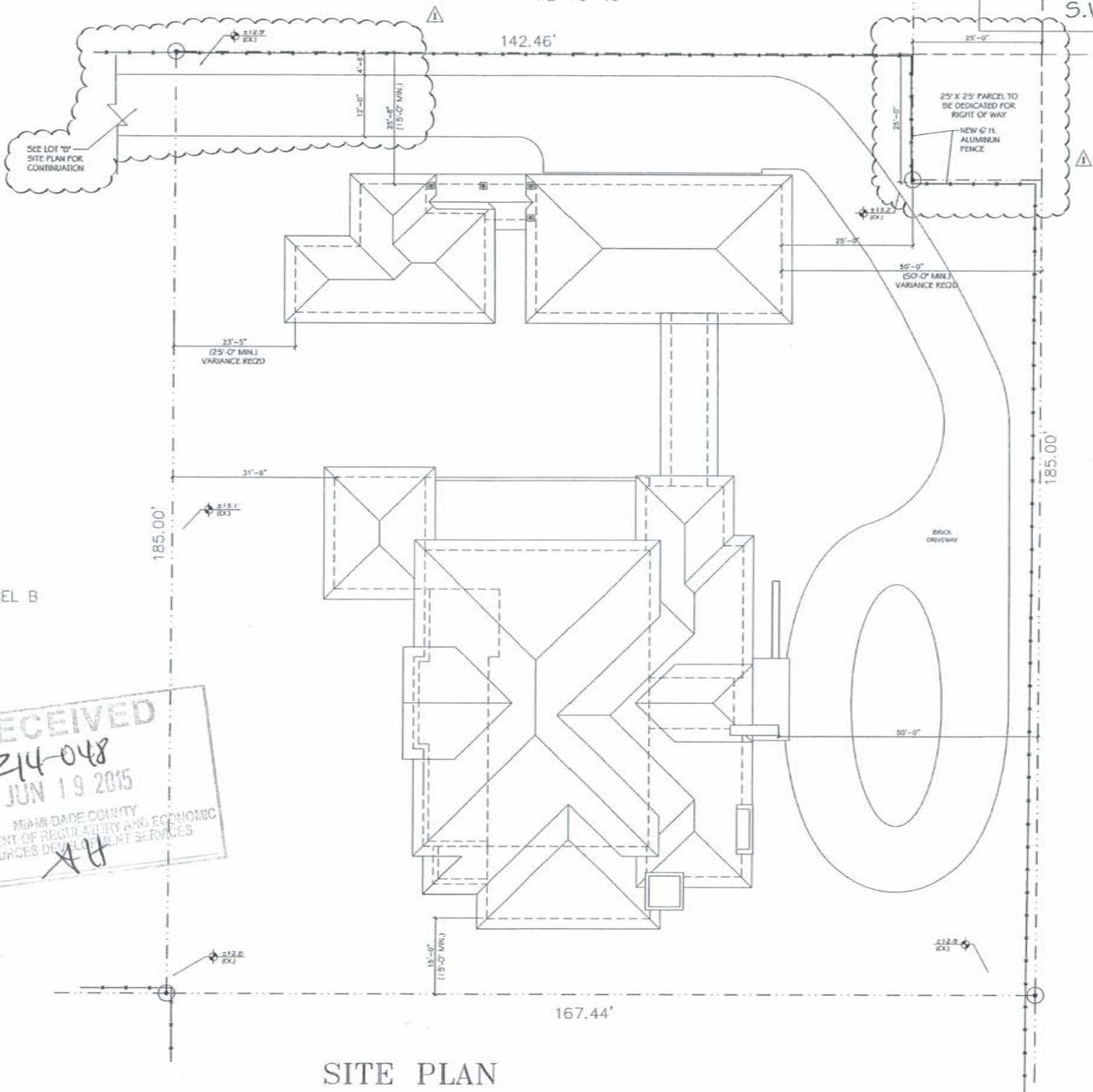
BY: 

6998 SW 79th Ave  
Miami, FL 33143 - approximate address  
HWY Street View - 1/11/11



214-048

NAME \_\_\_\_\_  
BY  \_\_\_\_\_



PARCEL B

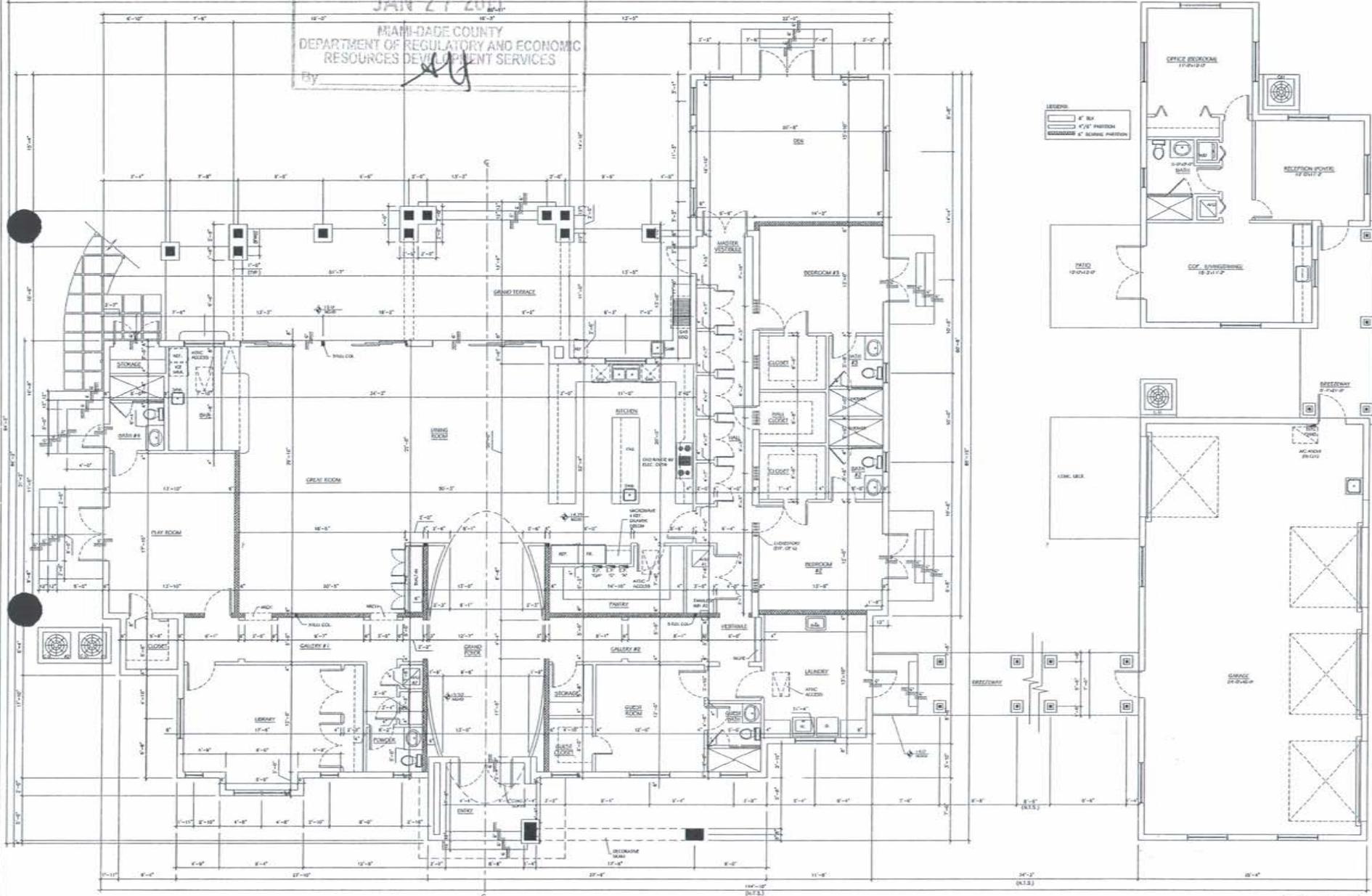
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 214-048  
 JUN 19 2015  
 MIAMI DADE COUNTY  
 DEPARTMENT OF REGULATORY AND ECONOMIC  
 RESOURCES DEVELOPMENT SERVICES  
 By: *AA*

SITE PLAN



23

RECEIVED  
 214-048  
 JAN 27 2015  
 MAH-DADE COUNTY  
 DEPARTMENT OF REGULATORY AND ECONOMIC  
 RESOURCES DEVELOPMENT SERVICES



FLOOR PLAN (PHASE 2)

ENC. 7/8" = 1'-0"



**RICHARD  
 CORTES**  
 ARCHITECT  
 484 S.W. 4222A  
 7700 SW 115 ST  
 PINECREST, FL 33106  
 PH: 305 233-0858  
 FAX: 305 233-4858  
 rrc@rcga@aol.com



NEW RESIDENCE FOR:  
 MR. & MRS. DONER GARCIA  
 7001 SW 79TH COURT  
 MIAMI, FL. 33143

SHEET NAME  
 FLOOR PLAN

REV	DATE	DESCRIPTION
1	1-27-15	

DATE:  
 2/17/15  
 DRAWN BY:  
 C.C.  
 SCALE:  
 1/8" = 1'-0"



A-1.2  
 SHEET No.

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24



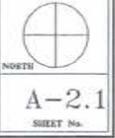
**RICHARD CORTES**  
 ARCHITECT  
 AIA 0014236  
 7708 SW 110 ST  
 PINECREST, FL 33156  
 TEL: 305 235-8856  
 FAX: 305 235-4886  
 rcortesy@aol.com



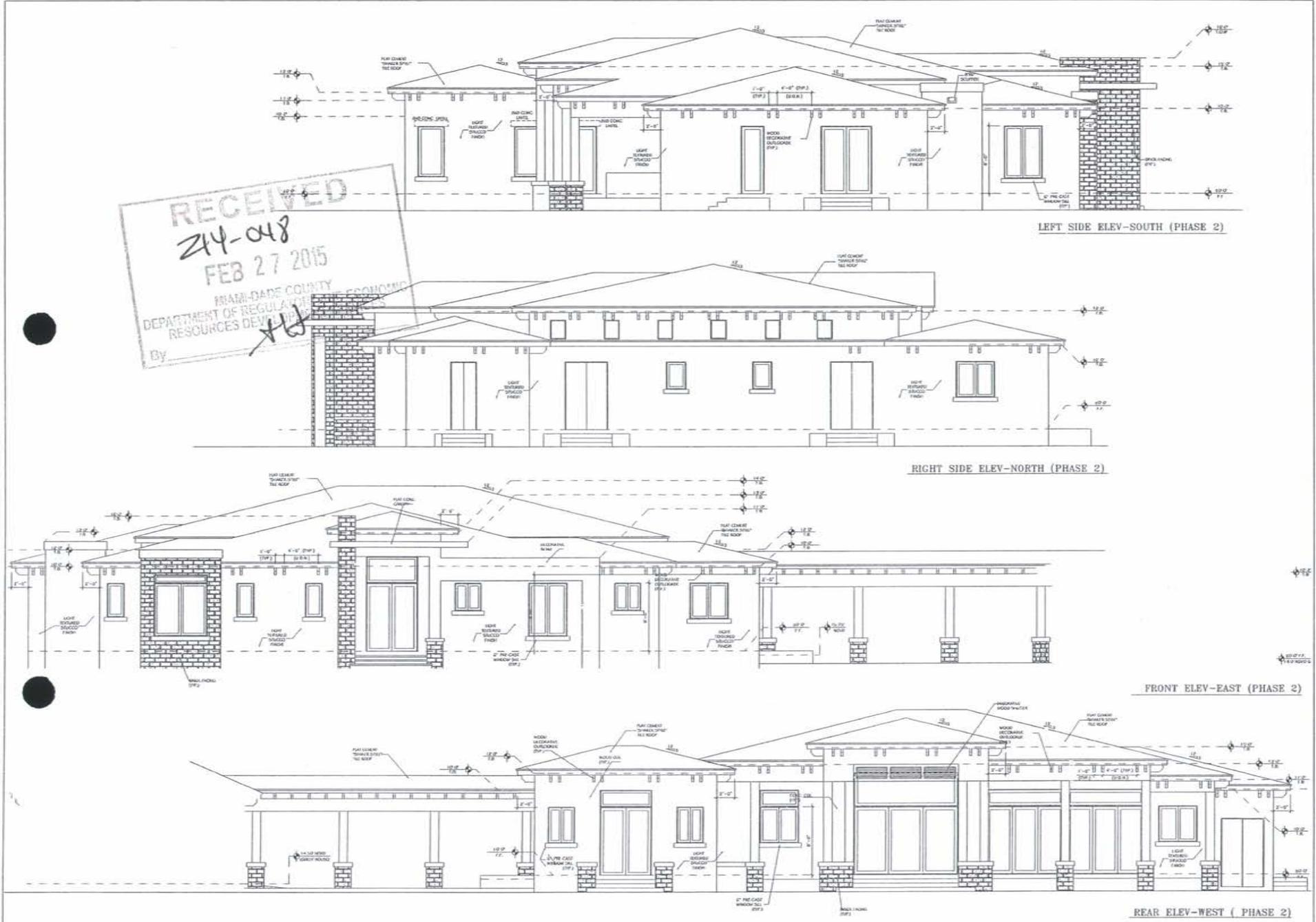
NEW RESIDENCE FOR:  
 MR. & MRS. DONER GARCIA  
 7001 SW 70TH COURT  
 MIAMI, FL. 33143

SHEET NAME  
 ELEVATIONS

DATE:	2/17/15
DESIGN BY:	C.C.
SCALE:	1/4" = 1'-0"



A-2.1  
 SHEET No.



**RECEIVED**  
 24-048  
 FEB 27 2015  
 MIAMI-DADE COUNTY  
 DEPARTMENT OF REGULATION  
 RESOURCES DEVELOPMENT  
 By *[Signature]*

**ELEVATIONS (PHASE 2)**

ESC: 1/4" = 1'-0"

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52



**RICHARD CORTES**  
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AIA # 011428  
7700 SW 110 ST  
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PH 305 231-8848  
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rcortesa@aol.com



NEW RESIDENCE FOR:  
**MR. & MRS. DONER GARCIA**  
7001 SW 79TH COURT  
MIAMI, FL 33143

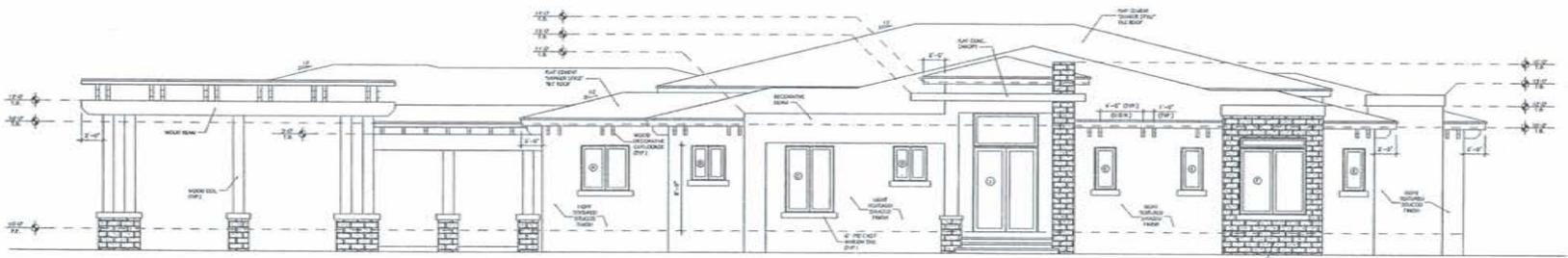
SHEET NAME  
ELEVATIONS

NO.	DATE
1	1-27-15

DATE: 1/27/15  
DRAWN BY: C.C.  
SCALE: N"=1'-0"



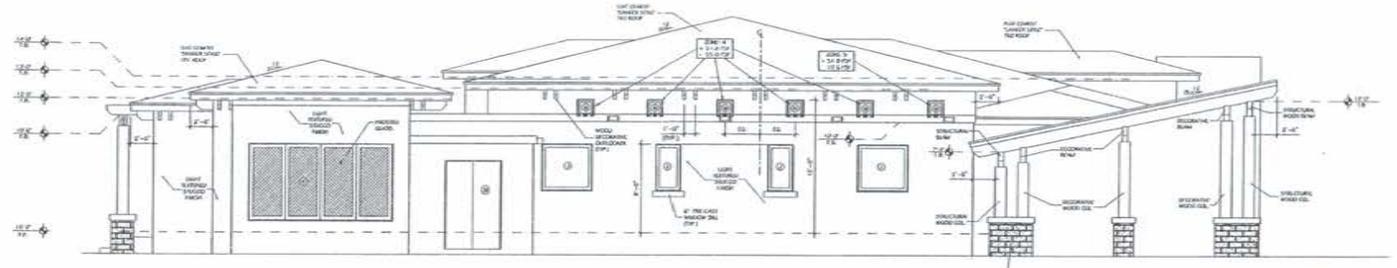
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SHEET No.



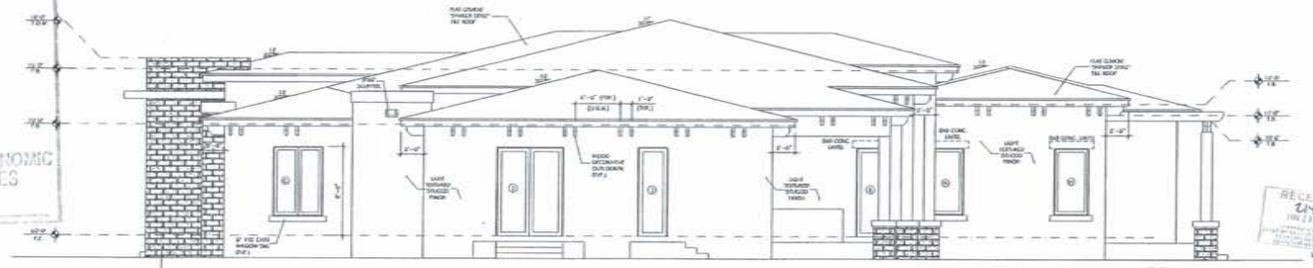
FRONT ELEVATION  
SCALE: N" = 1'-0"



REAR ELEVATION  
SCALE: N" = 1'-0"



LEFT ELEVATION  
SCALE: N" = 1'-0"



RIGHT ELEVATION  
SCALE: N" = 1'-0"

**RECEIVED**  
214-048  
JAN 29 2015  
MIAMI DADE COUNTY  
DEPARTMENT OF REGULATORY AND ECONOMIC  
RESOURCES DIVISION OF PERMIT SERVICES  
By: *AJ*

NOTED: SEE ALL NOTES REFERRED. THESE DRAWINGS INDICATE THE REQUIREMENT OF SERVICE SHALL REMAIN THE PROPERTY OF THE CLIENT. ANY REVISIONS TO THE PROJECT MUST BE APPROVED BY THE ARCHITECT. ANY OTHER PROJECTS OR ENTERPRISES TO THE PROJECT SHOULD BE APPROVED BY THE ARCHITECT. ANY REVISIONS TO THE PROJECT MUST BE APPROVED BY THE ARCHITECT. ANY OTHER PROJECTS OR ENTERPRISES TO THE PROJECT SHOULD BE APPROVED BY THE ARCHITECT.

24



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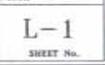
NEW RESIDENCE FOR:  
**MR. & MRS. DONER GARCIA**  
7001 SW 79TH COURT  
MIAMI, FL 33143

SHEET NAME  
**LANDSCAPING PLAN**

REV	DATE
1	1-27-15

DATE:  
1/27/15  
DRAWN BY:  
C.C.

SCALE:  
1/4" = 1'-0"



L-1  
SHEET No.

- PLANTING NOTES:**
1. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE CLASSIFIED AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE, GRADES AND STANDARDS FOR MARKET PLANTS, PART 1 (A) (GRADING STANDARDS).
  2. ALL PLANT MATERIAL MUST MEET OR EXCEED THE MINIMUM SIZE REQUIREMENTS AS SPECIFIED ON THE PLANT LIST.
  3. QUANTITIES INDICATED ON THE PLANT LIST ARE FOR CONFORMANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING HIS OWN TOLERANCES. THESE QUANTITIES ARE FOR PLANNING PURPOSES ONLY AND SHALL BE ADJUSTED AS NECESSARY.
  4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
  5. TREES AND PLANTS SHALL BE PLANTED SO THAT HEADS WILL BE CLEAR OF ALL STRUCTURES AT FINISHED GRADE.
  6. PLANTING SOIL SHALL BE AT LEAST 50% MUCK OF COMPOST AND 50% SAND - DELIVERED TO THE SITE ON A CLEAN TRUCK AND PROPERLY COVERED - AND FURNISH COVER GUARANTEE CHARACTERISTICS.
  7. ALL PLANT MATERIAL SHALL BE WATERED IN THOROUGHLY AT THE TIME OF PLANTING.
  8. FERTILIZER FOR TREES AND SHRUBS SHALL BE A GENERAL PURPOSE USE ORGANIC FERTILIZER (16-0-16) CONTAINING TRACE ELEMENTS. FERTILIZER FOR PALMS SHALL BE A SPECIAL PALM TREE NUTRIENT INCLUDING MANURE AND ANTIMOLD SURFACES.
  9. ALL TREES AND PALMS TO BE STAKED AND CURED AS SHOWN IN PLANTING DETAILS.
  10. ALL PLANTING BEDS AND TREE SADDLES SHALL BE INSTALLED WITH A STANDARD 3/4" DIA. SHROUDED TYPICAL GRADE 8 OR BETTER, TO A MINIMUM DEPTH OF 2" AND WATERED DOWN TO PREVENT AND SUBSEQUENTLY THE SIZE OF EACH TREE OR OTHER TYPE WOOD IS RECOMMENDED OVER EXPRESS WOOD.
  11. SOIL SHALL BE 5% HUMICUS TOLERANT. MIXES ORGANIC MIXTURES AND SHALL BE FREE OF WEEDS AND IN A HEALTHY DRAINING CONDITION. SOIL SHALL BE LAYED ON A SMOOTH FINISHED GRADE WITH GLOTTED FILTER. STAKING AND TIES SHALL BE REMOVED PROMPTLY KEEPING THE SITE CLEAR AS WORK PROGRESSES.
  12. ANY EXCESS SOIL, STONES OR OTHER MATERIALS FROM LANDSCAPE OPERATIONS SHALL BE REMOVED PROMPTLY, KEEPING THE SITE CLEAR AS WORK PROGRESSES.
  13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING AND CHANGES.
  14. ALL LANDSCAPING AREAS SHALL RECEIVE 100% COVERAGE FROM AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. WHERE AN IRRIGATION SYSTEM ALREADY EXISTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ALL ADEQUATE ADJUSTMENTS WITH THE REGULATION CONTRACTOR OR PROPERTY OWNERS/OWNER'S PERSONNEL.
  15. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE TO THE OWNER FOR ALL PLANT MATERIAL AND WORKMANSHIP FOR A PERIOD OF 180 DAYS FROM WHATEVER DATE FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. AT THE END OF THE GUARANTEE PERIOD, UNLESS ANY PLANTS WHICH HAVE DIED WITHIN HEALTHY PLANTS OF THE SAME SPECIES AND THE SAME APPEARANCE, COST TO THE OWNER INCLUDING PLANTING, SOIL, FERTILIZER, WATERING BY THE OWNER OR OTHER PERSONS, ACCEPTANCE OF ANY PLANT MATERIALS DAMAGED BY STORMS, HAILSTORMS, FREEZE DRAUGHTS OR OTHER ACTS OF GOD HAS NOT INCLUDED IN THIS REPLACEMENT AGREEMENT.

NO.	TYPE	REMARKS	TRADE	QUANTITY	APRIL	MAY	JUNE
1	LANDSCAPE MUCK	TO REMOVAL	18"	20'	20'		
2	LANDSCAPE MUCK	TO REMOVAL	18"	20'	20'		
3	LANDSCAPE MUCK	TO REMOVAL	18"	20'	20'		
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60	LANDSCAPE MUCK	TO REMOVAL	18"	20'	20'		

**LANDSCAPE NOTES:**

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF AGRICULTURE, GRADES AND STANDARDS FOR MARKET PLANTS, PART 1 (A) (GRADING STANDARDS).

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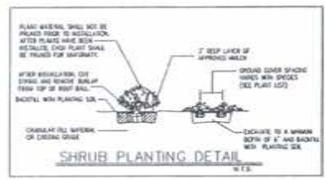
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MARK	TYPE	QUANTITY	REMARKS
10	SHRUB	24	12' 7\"/>
12	SHRUB	12	7' 6\"/>

RECEIVED  
2/14/15  
JAN 29 2015  
MIAMI-DADE COUNTY  
DEPARTMENT OF REGULATORY AND ECONOMIC  
RESOURCES DEVELOPMENT SERVICES  
By *Alt*

Parcel B

RECEIVED  
2/14/15  
JAN 29 2015  
MIAMI-DADE COUNTY  
DEPARTMENT OF REGULATORY AND ECONOMIC  
RESOURCES DEVELOPMENT SERVICES

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**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2014000048**



Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

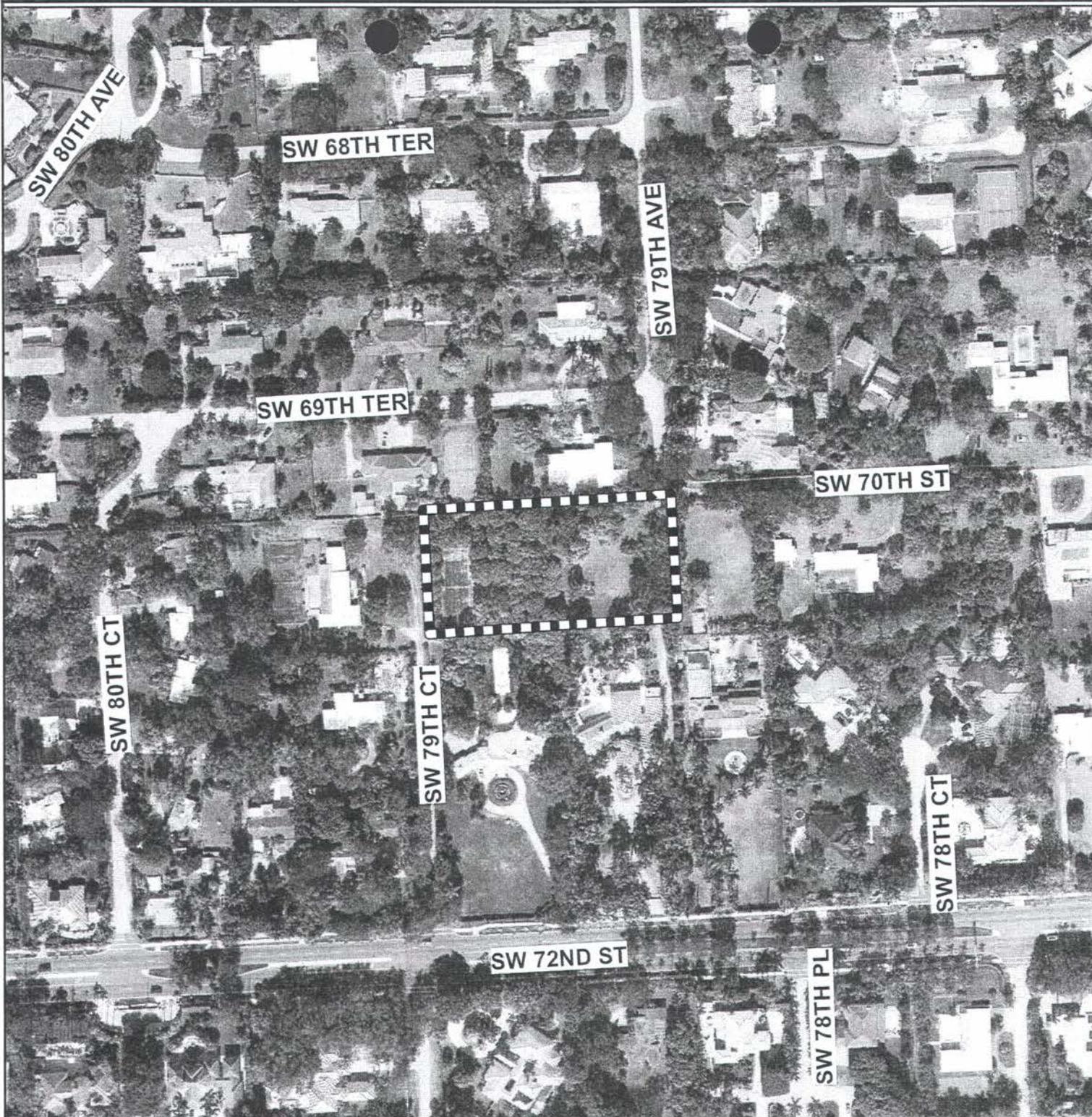
**Legend**

 Subject Property Case



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		28



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2013**

Process Number  
**Z2014000048**

Legend

 Subject Property

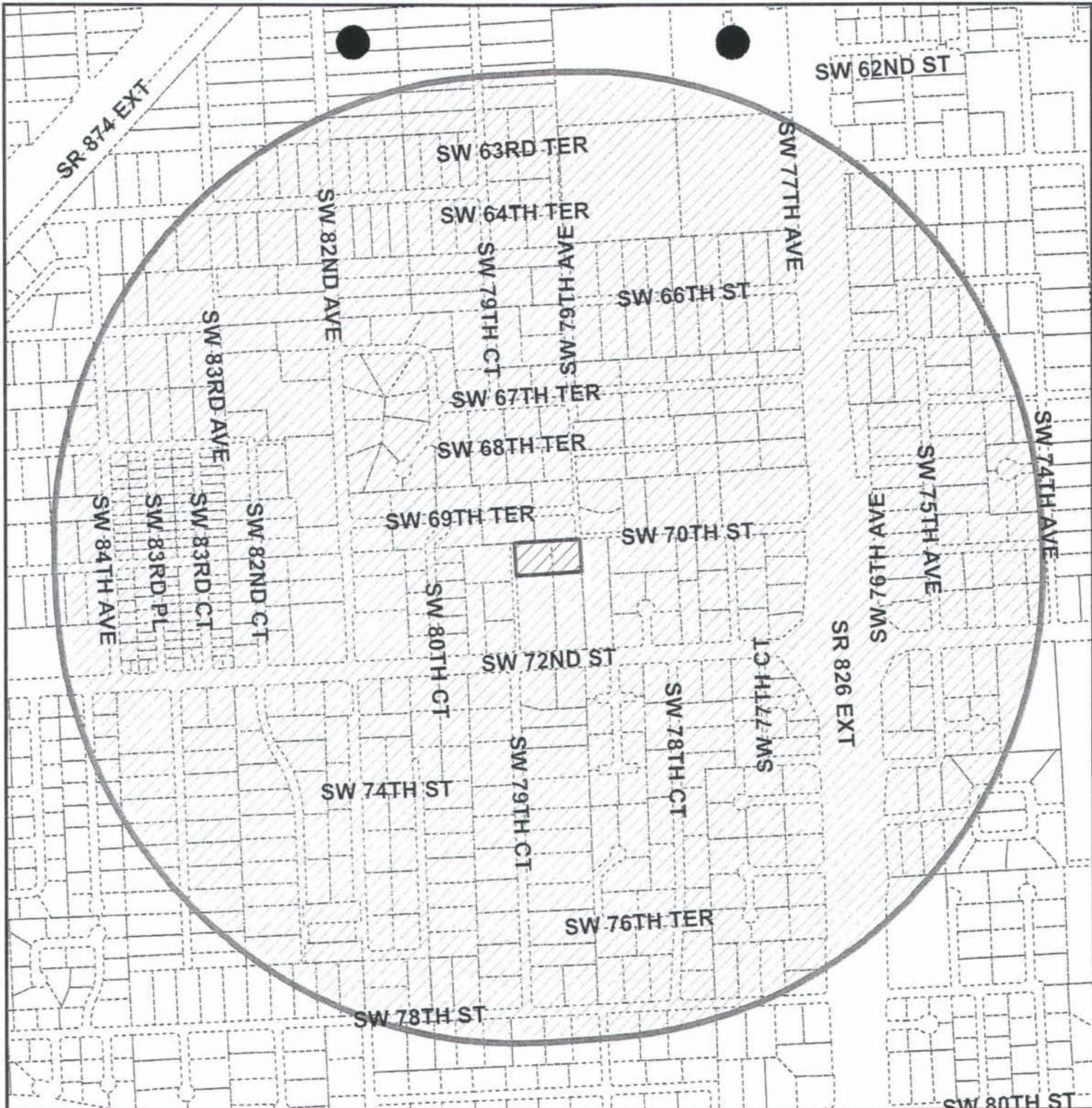


Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		29



**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

Process Number  
**Z2014000048**  
 RADIUS: 2640

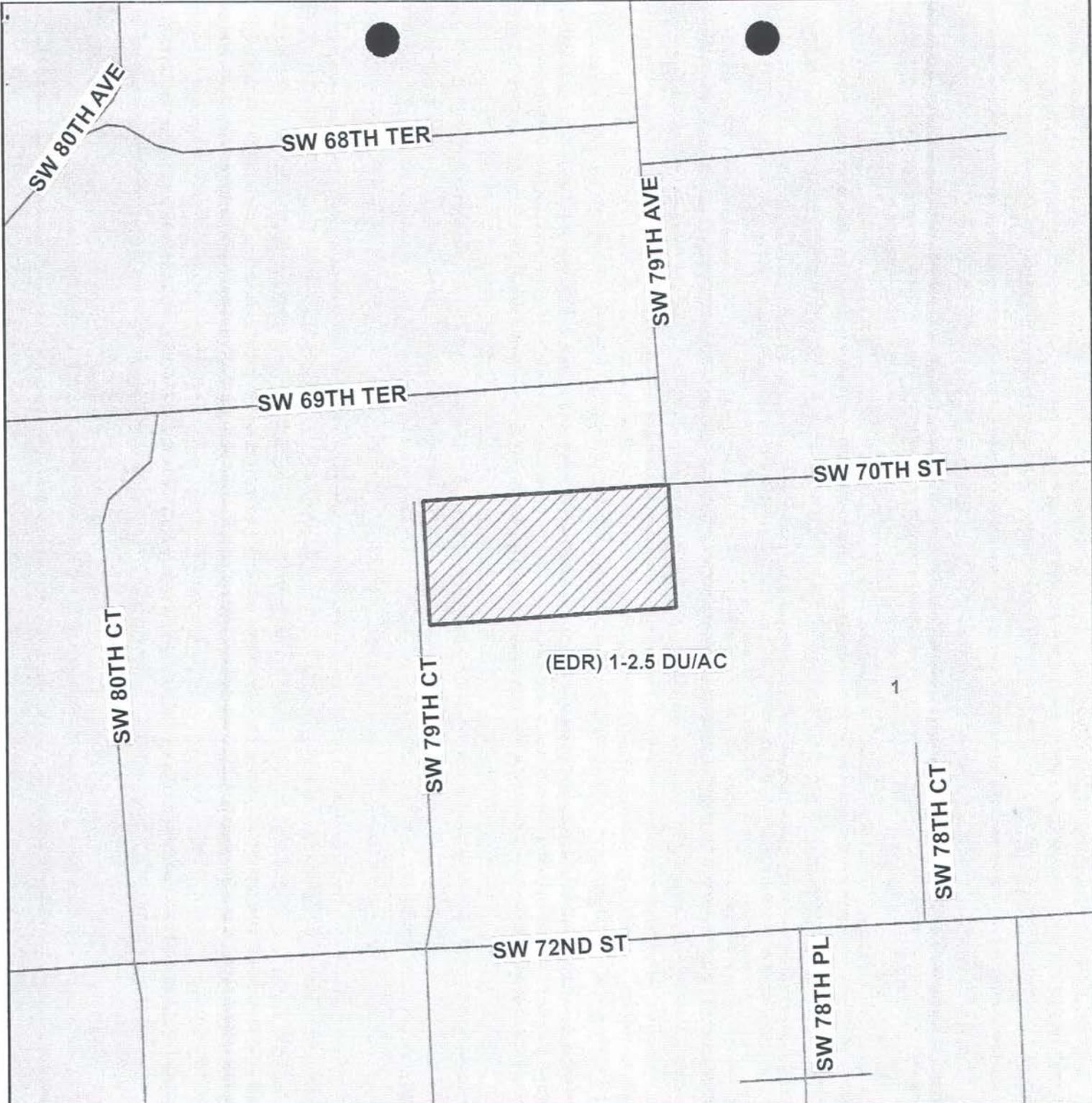
**Legend**

-  Subject Property
-  Buffer
-  Street (Centerline)
-  Property Boundaries



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		30



**MIAMI-DADE COUNTY**  
**CDMP MAP**

Process Number  
**Z2014000048**



Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Council No. 12**

**PH: Z14-048 (14-4-CZ12-1)**

**July 7, 2015**

**Item No. B**

<b>Recommendation Summary</b>	
<b>Commission District</b>	7
<b>Applicants</b>	Maria Fanti
<b>Summary of Requests</b>	The applicant seeks to split the existing 1.5 acre parcel into two lots, with variances to the lot frontage, lot area and lot depth requirements. Additionally, the applicant seeks to permit proposed residences on the parcels with setback less than required from property lines, and with more lot coverage than allowed by the zoning district regulations.
<b>Location</b>	Lying approximately 141' south of SW 69 terrace, between theoretical SW 79 Avenue and SW 79 Court AKA 7001 SW 79 Court, Miami-Dade County, Florida.
<b>Property Size</b>	1.5 acres
<b>Existing Zoning</b>	EU-1, Single-Family One Acre Estate District
<b>Existing Land Use</b>	vacant
<b>2020-2030 CDMP Land Use Designation</b>	Estate Density Residential, 1 to 2.5 dua <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b), Non-Use Variance standards <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Denial without prejudice.</b>

The application was deferred from the June 9, 2015 hearing of Community Zoning Appeals Board (CZAB) #12 to allow the applicant to meet with staff.

**REQUESTS:**

**REQUESTS #1 THROUGH  
#3 ON PARCEL "A"**

1. NON-USE VARIANCE to permit proposed Parcel "A" with an area of 30,359 (43,560 sq. ft. required), a frontage of 50' (125' minimum required) and a lot depth of 160' (200' minimum required).
2. NON-USE VARIANCE to permit a lot coverage of 26% (20% maximum permitted).
3. NON-USE VARIANCE to permit the proposed building to setback 25' (50' required) from the front (east) property line and setback 23'-25" (25' required) from the rear (west) property line.

**REQUESTS #4 AND #5 ON PARCEL "B"**

4. NON-USE VARIANCE to permit the proposed Parcel "B" with an area of 37,455 sq. ft. (43,560 sq. ft. required).

5. NON-USE VARIANCE to permit a proposed lot coverage of 22.17% (20% maximum permitted).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources entitled "New Residence for Mr. & Mrs. Doner Garcia" as prepared by Richard Cortes Architect, Sheets A-1, A-2, A-3 & A-4 dated stamped received 10/22/14, Sheets, SP-1.2, A-1.2, A-2.1 & L-1.2 dated stamped received 2/27/15 and the remaining 2 sheets dated stamped received 11/6/14 for a total of 10 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

The subject property has a gross area of 69,056 sq. ft. (1.5 acres). The applicant seeks to subdivide the subject property into two (2) parcels (Parcel "A" and "B"). The site plan shows Parcel A with a proposed 7,896 sq. ft. single-family residence and Parcel B with a proposed 7,277 sq. ft. single-family residence.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	EU-1; vacant lots	Estate Density Residential (1 to 2.5 dua)
<b>North</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>South</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>East</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>West</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is zoned EU-1, Single-Family One Acre Estate District, and lying approximately south of SW 69 Terrace, between theoretical SW 79 Avenue and SW 79 Court. The area surrounding the subject property is primarily characterized by single-family residences developed under the EU-1 zoning district regulations

**SUMMARY OF THE IMPACTS:**

The approval of this application will allow the applicant to provide additional housing in this section of the County. However, approval of the requests could have a visual impact on the surrounding properties, and could negatively impact traffic on the abutting roadways based on memorandum submitted by the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map designates the site for **Estate Density Residential**. Approval of these requests would result in the construction of two (2) single-family residential units on the 1.5-gross acre parcel, which meets

the density threshold of the land use designation. Staff opines that because this application does not propose a use different from those allowed in this land use category and does not generate any additional units, approval of the requests is **consistent** with the uses allowed under the Estate Density Residential Land use category text and the density threshold of CDMP Estate Density Residential Communities LUP map designation.

### ZONING ANALYSIS:

The applicant has meet with staff and on June 19, 2015 has submitted a revised site. When analyzing the requests on Parcel A, to permit the parcel with less lot area, less lot frontage, and less lot depth than is required (request #1), to permit the parcel with less lot coverage than is required (request #2) and to permit a proposed residence on this parcel setback less than required from the front and rear property lines (requests #3), under the Non-Use Variance (NUV) Standards, Section 33-311(A)(4)(b), staff opines that approval of these requests would be **incompatible** with the surrounding area for the reasons stated below. The 1.5 gross acre subject property is zoned EU-1, and the applicant seeks to create two contiguously owned non-conforming lots (Parcel A and Parcel B), on which the applicant is proposing to develop two single-family residences.

In request #1, the applicant seeks to permit proposed Parcel "A" with an area of 30,359 sq. ft. (required 43,560 sq. ft.), a frontage of 50' (125' minimum required) and a lot depth of 160' (200' minimum required). The applicant also seeks to access to Parcel A from SW 70 Street located to the east. Staff did research of the area and found similar approvals for lot area and lot depth. However, staff did not find any similar approvals in the area for lot frontage, which staff opines is too intensive and would be out of character with the area. Because the requested lot area and lot depth are contingent on the requested lot frontage, and the requests are inextricably intertwined, staff therefore opines that request #1 in its entirety would be incompatible with the surrounding area. In addition, staff notes that the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) has stated their objection to the proposed access from SW 70 Street, as it could negatively impact traffic on the abutting roadways, SW 70 Street and SW 79 Avenue. Without access from SW 70<sup>th</sup> Street, there would be no street access to Parcel A, and for this additional reason, staff opines that the request would be incompatible with the surrounding area.

In analyzing request #2, to permit a lot coverage of 26% (20% minimum required) and request #3, to permit the proposed building to setback 25' (50' required) from the front (east) property line and setback 23'-25" (25' required) from the rear (west) property line, staff did research of the area, and found similar or more intensive approvals for lot coverage and front and rear setbacks. However, the requested lot coverage and the requested front and rear setbacks for Parcel A are inextricably intertwined with request #1 for Parcel A, and cannot stand on their own, and staff therefore opines that requests #2 and 3 would be **incompatible** with the surrounding area.

In analyzing requests on Parcel "B" to permit a lot area of 37,455 sq. ft. (43,560 sq. ft. required) (request #4) and to permit a proposed lot coverage of 22.17% (20% maximum permitted) (request #5), under the Non-Use Variance (NUV) Standards, staff opines that the requests would not be compatible with the surrounding area for the reasons stated herein. Staff did research of the area and found similar or more intensive approvals for lot area and lot coverage. However, staff opines that these requests for Parcel B are inextricably intertwined with the requests on Parcel A, and the requests for Parcel B cannot stand on their own. As previously

discussed, the requests for Parcel A are too intensive and are not compatible with the surrounding area. Therefore, for the reasons that were previously explained in the above mentioned zoning analysis, approval of the requests for both Parcel A and Parcel B, which are inextricably intertwined, would not maintain the basic intent of the zoning, subdivision and other land use regulations, and would be incompatible with surrounding area. **Based on the foregoing analysis, staff recommends that the application be denied without prejudice under the NUV Standards, Section 33-311(A)(4)(b).**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

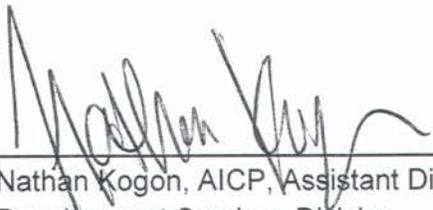
**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:** Denial without prejudice.

**CONDITIONS FOR APPROVAL:** None.

NK:MW:NN:CH:EJ



Nathan Kogon, AICP, Assistant Director  
Development Services Division  
Miami-Dade County  
Department of Regulatory and Economic Resources

# ZONING RECOMMENDATION ADDENDUM

Applicant: Maria Fanti  
PH: Z14-048

NEIGHBORHOOD SERVICES PROVIDER COMMENTS*	
Division of Environmental Resource Management (RER)	No objection
Platting and Traffic Review Section (RER)	*Objects
Parks	No objection
Fire Rescue	No objection
Police	No comment
Public Works and Waste Management Department	No comment
Schools	No comment
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<p><i>Estate Density Residential (Pg. I-31)</i></p>	<p><i>The Adopted 2020 and 2030 Land Use Plan designates the subject property as being within the Urban Development Boundary for Estate Density Residential use. This density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 dwelling units per gross acre.</i></p>
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## PERTINENT ZONING REQUIREMENTS/STANDARDS

<p><b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</b></p>	<p><i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for <b>non-use variances</b> from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i></p>
--	---

B. MARIA FANTI  
(Applicant)

15-6-CZ12-1 (14-048)  
Area 12/District 07  
Hearing Date: 07/07/15

Property Owner (if different from applicant) Same.

Is there an option to purchase  /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

Previous Zoning Hearings on the Property:

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
None				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

**MIAMI-DADE COUNTY  
COMMUNITY ZONING APPEALS BOARD - AREA 12  
MOTION SLIP**

#1

APPLICANT'S NAME: MARIA FANTI

REPRESENTATIVE: RICHARD CORTES

HEARING NUMBER	HEARING DATE	RESOLUTION NUMBER		
15-6-CZ12-1 (14-048)	June 9, 2015	CZAB12	17	15

**REC: Denial without prejudice.**

WITHDRAW:  APPLICATION       ITEM(S): \_\_\_\_\_

DEFER:       INDEFINITELY       TO: 7/7/15       W/LEAVE TO AMEND

DENY:       WITH PREJUDICE       WITHOUT PREJUDICE

ACCEPT PROFFERED COVENANT       ACCEPT REVISED PLANS

APPROVE:       PER REQUEST       PER DEPARTMENT       PER D.I.C.

WITH CONDITIONS

OTHER:

Deferred so that applicant can work with the Platting and Traffic Review Section of RER to develop solution for the location of the proposed driveway.

TITLE	M/S	NAME	YES	NO	ABSENT
COUNCIL WOMAN		Peggy <b>BRODEUR</b>			X
COUNCILMAN		Javier <b>GONZALEZ-ABREU</b>			X
COUNCILMAN	<b>M</b>	Matthew <b>LARSH</b>	X		
COUNCILMAN		Alberto <b>SANTANA</b>	X		
VICE CHAIRWOMAN	<b>S</b>	Angela M. <b>VAZQUEZ</b>	X		
COUNCILMAN		Elliot N. <b>ZACK</b>	X		
CHAIRMAN		Jose I. <b>VALDES</b> (C.A.)	X		
VOTE:			5	0	

EXHIBITS:  YES     NO

COUNTY ATTORNEY: Sabrina Levin

4

# Memorandum



**Date:** March 16, 2015  
**To:** Jack Osterholt, Deputy Mayor/Director  
Department of Regulatory and Economic Resources  
**From:** Jose Gonzalez, P.E.  
Department of Regulatory and Economic Resources

A handwritten signature in black ink, appearing to read "Jose Gonzalez".

**Subject:** C-12 #Z2014000048-2<sup>nd</sup> Revision  
Maria Fanti  
7001 SW 79<sup>th</sup> Court, Miami, FL 33143  
7900 SW 70 Street, Miami, FL 33143  
Non-Use Variance of lot area and lot frontage requirements.  
(EU-1) (1.57 Acres)  
27-54-40

The subject application has been reviewed by the Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

#### Wellfield Protection

The subject property is located within the Basic Wellfield Protection Area for the Alexander Orr Wellfield. The site is situated within the 100-day and 210-day travel time contour of the Alexander Orr Wellfield. Therefore, development on the subject property shall be in accordance with regulations established in Section 24-43 of the Code.

As per the Code, resources that generate, handle, dispose of, discharge or store hazardous materials are not allowed on the property. Applicant is advised that the only fuel allowed for the proposed generator is natural gas.

#### Potable Water Service

##### **Parcel "A":**

Public water is not available to the subject property. DERM has no objection to this type of low intensity development served by an individual water supply system, provided that groundwater quality in the area is such that drinking water standards can be met by the proposed water supply system. A minimum separation distance of 100 feet is required between any well and all septic tank drainfields, all surface waters and any other source of contamination.

##### **Parcel "B":**

The closest public water main is located approximately 390 feet from the subject property. Based on the proposed request, the subject property is within feasible distance for connection to public water. Therefore, connection of the proposed development on Parcel "B" to the public water supply system shall be required in accordance with the Code requirements. The required water main extension permit is issued by the Florida Department of Health. Civil drawings for the proposed water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Plan Review Specialty Section of DERM.

### Wastewater Disposal

#### **Parcel "A":**

Public sanitary sewers are not located within feasible distance for connection to the subject property. Consequently, any proposed development would have to be served by a septic tank and drainfield as a means for the disposal of domestic liquid waste. DERM has no objection to the interim use of a septic tank and drainfield, provided that the maximum sewage loading allowed by Section 24-43.1(3) of the Code is not exceeded. Based on available information, the proposed single-family residence or duplex served by a septic tank would not exceed the maximum allowable sewage loading for the subject property.

### Wastewater Disposal

#### **Parcel "B":**

Public sanitary sewers are not located within feasible distance for connection to the subject property; consequently, any proposed development would have to be served by a septic tank and drainfield as a means for the disposal of domestic liquid waste. DERM has no objection to the interim use of a septic tank and drainfield provided that the maximum sewage loading allowed by Section 24-43.1(3) of the Code is not exceeded and the property is connected to public water. Based on available information, the proposed single-family residence or duplex served by a septic tank would not exceed the maximum allowable sewage loading for the subject property.

### Stormwater Management

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Drainage restrictions may be applicable, since the site is located within the 100-day and 210-day travel time contour of the Alexander Orr Wellfield.

### Tree Preservation

The subject properties contain specimen-sized (trunk diameter 18 inches or greater) trees. Please note that Section 24-49 of the Code and CON 8A of the CDMP provide for the preservation and protection of specimen trees. Projects shall be designed to meet the requirements of Sections 24-49.2 and 24-49.4 of the Code including compliance with the specimen tree preservation requirements of the Code as well as CON 8A of the Comprehensive Development Master Plan. The landscape plans submitted depict specimen sized trees to be preserved on-site however non specimen trees will be removed.

A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code.

Finally, in accordance with the Code and CON8I of the CDMP, all plants prohibited by the Code shall be removed from all portions of the property prior to development, or redevelopment and developed

parcels shall be maintained to prevent the growth or accumulation of prohibited species. DERM also recommends that this requirement be included as a condition of any zoning approval.

The applicant is advised to contact Tree Permitting Program at (305) 372-6574 for additional information regarding permitting procedures and requirements.

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

cc: Nathan Kogon, Department of Regulatory and Economic Resources

# Memorandum



**Date:** December 19, 2014

**To:** Eric Silva, Development Coordinator  
Department of Regulatory and Economic Resources

**From:**   
Raul A. Pino, PLS, Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

**Subject:** Z2014000048  
Name: Maria Fanti  
Location: 9001 SW 79 Court  
Section 27 Township 54 South Range 40 East

---

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and objects for the following reasons:

This Department objects to the request to permit the easterly lot to be accessed from SW 70<sup>th</sup> Street. Proposed driveway off of SW 70<sup>th</sup> Street will not comply with Standard Detail R12.1 of The Public Works Manual of Miami-Dade County. The applicant must provide an ingress/egress easement along the westerly lot to provide access to the easterly lot as previously discussed with applicant. Said easement is to be provided by plat.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedications and/or improvements required will be accomplished thru the recording of a plat.

This application **does** meet the traffic concurrency criteria for an Initial Development Order. It will generate **2 PM** daily peak hour vehicle trips. The traffic distribution of these trips to the adjacent roadways reveals that the addition of these new trips **does not** exceed the acceptable level of service of the following roadways:

Sta.#		LOS present	LOS w/project
F-1068	SW 72 St. w/o Palmetto Expwy	C	C

The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

# Memorandum



**Date:** May 21, 2014

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources Department

**From:**   
Paul Mauriello, Assistant Director, Waste Operations  
Public Works and Waste Management Department

**Subject:** Maria Fanti (#14\_048)

---

The Department's review of the above-referenced item is provided below. Additional comments will be provided as needed. If you should have any questions, please do not hesitate to contact Stacey McDuffie, Manager of the Fiscal Management and Planning Division, at 305-514-6661. **The PWWM has no objections to the proposed application.**

**Application:** *Maria Fanti* is requesting a use variance to divide a lot with two separate folio numbers in two halves and allow two separate residences. The property is currently zoned Estates, single family (EU-1).

**Size:** The subject property is 1.57 acres.

**Location:** The subject property is located at 7001 SW 79<sup>th</sup> Court, in Miami-Dade County, Florida.

## **Analysis:**

### 1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 25, 2013, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Regulatory and Economic Resources Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

### 2. Garbage and Trash Collection Services

Pursuant to Chapter 15 of the Miami-Dade County Code (Code), entitled Solid Waste Management the single family residences to be developed on the property will meet the County Code definition of residential units. As such, according to the Code, the residential units will

receive PWWM waste collection service. Twice weekly curbside waste collection, twice per year scheduled bulky waste collection service, and unlimited use of the 13 Trash and Recycling Centers are the services currently provided to residential units in the PWWM solid waste collection service area.

### 3. Recycling

The PWWM provides curbside recycling services to **residential units** located in unincorporated Miami-Dade County through a private contractor. The single stream recycling program currently includes separation of glass, aluminum cans, steel cans, plastic bottles, newspaper and phone books. Further information may be obtained by calling the Department's Public Information & Outreach Division at 305-594-1500 or 305-514-6714.

Applicants are **strongly** advised to incorporate adequate space in their building plans to accommodate the recycling program (i.e. somewhere for residents to store their recycling carts).

### 4. Waste Storage/Setout Considerations

Section 15-4 of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

### 5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection.

# Memorandum



**Date:** March 23, 2015

**To:** Jack Osterholt, Deputy Mayor  
Director, Regulatory and Economic Resources Department

**From:** Maria I. Nardi, Chief *M.I.N.*  
Planning and Research Division  
Parks, Recreation and Open Spaces Department

**Subject:** Z2014000048: MARIA FANTI  
Revised Plans Submitted Dated Stamped Received 2/27/2015

---

**Application Name:** MARIA FANTI

**Project Location:** The site is located at 9001 SW 79 CT, Miami-Dade County.

**Proposed Development:** The request is for a non-use variance(s) for a lot split.

**Impact and demand:** This application proposes a development of 2 residential dwelling units resulting in a de minimis impact to Level of Service. The site is located in Park Benefit District 2 which has a surplus of 504.72 acres of local parkland and therefore meets concurrency when analyzed in terms of (2.75) acres per 1,000 unincorporated areas residents within this Park Benefits District.

**Recommendation:** Based on our findings described herein **PROS HAS NO OBJECTION TO THIS APPLICATION**

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Property Management Supervisor

## Furney, Susan (RER)

---

**From:** Castillo, Guillermo (MDFR)  
**Sent:** Thursday, March 19, 2015 3:19 PM  
**To:** Holness, Damon (RER)  
**Cc:** Furney, Susan (RER); Connally, Ronald (RER); Gutierrez, Franklin (RER); Heredia, Carlos (MDFR)  
**Subject:** Zoning Hearings Document Distribution (Case #Z2014000048)

The Miami-Dade Fire Rescue Department has reviewed the subject application and has the following comments:

- There has been no new site plan since 10/22/14 site plan that resulted in a no objection disposition

Thank you,

Guillermo E. Castillo, Principal Planner  
Planning Section  
Miami Dade Fire Rescue Department  
9300 NW 41 St., Miami - FL 33178  
786-331-4545 Direct Phone  
786-331-4540 Main Phone  
786-331-5259 Fax Number  
[Castilo@miamidade.gov](mailto:Castilo@miamidade.gov)  
[www.miamidade.gov](http://www.miamidade.gov)  
"Delivering Excellence Every Day"

DATE: 28-OCT-14  
REVISION 1

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

MARIA FANTI

7001 SW SW 79 CT, MIAMI-DADE  
COUNTY, FLORIDA.

---

APPLICANT

---

ADDRESS

Z2014000048

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HEARING NUMBER

**HISTORY:**

ENFORCEMENT HISTORY: NC: No open cases. BNC; No bss cases open/closed

Maria Fanti

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

**REPORTER NAME:**



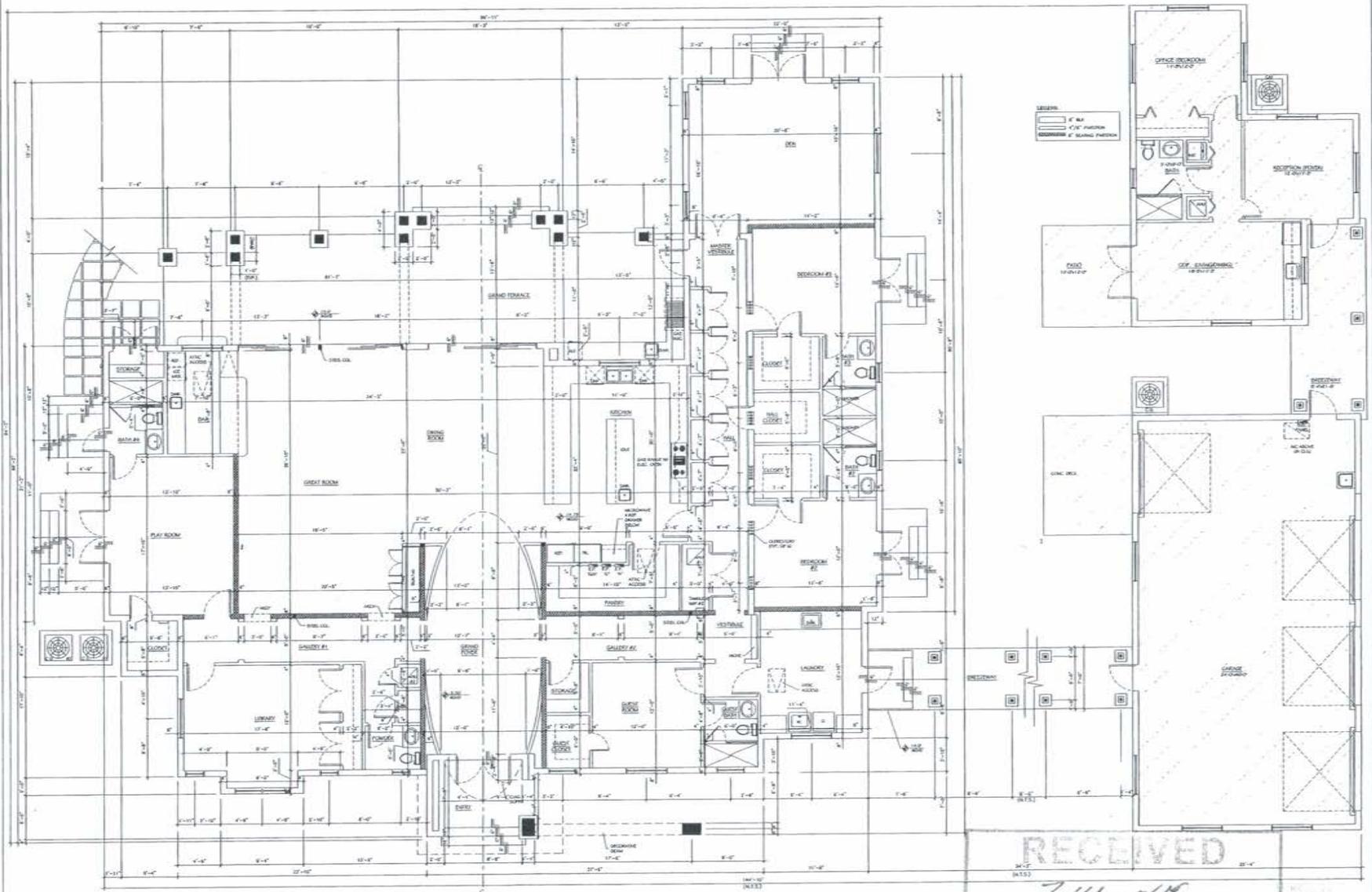
6958 SW 79th Ave  
Miami, FL 33142  
www Street View Jul 2012



214-048  
MET  
BY  EPT.







FLOOR PLAN (PHASE 2)

ESC: 1/4" = 1'-0"

**RECEIVED**  
 2.14-046  
 FEB 27 2015

DADE COUNTY  
 DEPARTMENT OF PLANNING AND ECONOMIC  
 RESOURCES DEVELOPMENT SERVICES



**RICHARD CORTES**  
 ARCHITECT  
 708 SW 115 ST  
 PINECREST, FL 33156  
 PH: 305 232-0658  
 FAX: 305 229-6058  
 routecor@aol.com



NEW RESIDENCE FOR:  
 MR. & MRS. DONER GARCIA  
 7001 SW 70TH COURT  
 MIAMI, FL 33143

SHEET NAME  
 FLOOR PLAN

NO.	REVISION	DATE
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DATE: 2/17/15  
 DRAWN BY: C.C.

SCALE: 1/4" = 1'-0"



A-1.2

SHEET No.



**RICHARD CORTES**  
ARCHITECT  
7700 SW 115 ST  
PUNECREST, FL 33106  
PH: 305 232-0868  
FAX: 305 232-0864  
rcortespa@aol.com



NEW RESIDENCE FOR:  
**MR. & MRS. DONER GARCIA**  
7001 SW 79th COURT  
MIAMI, FL 33143

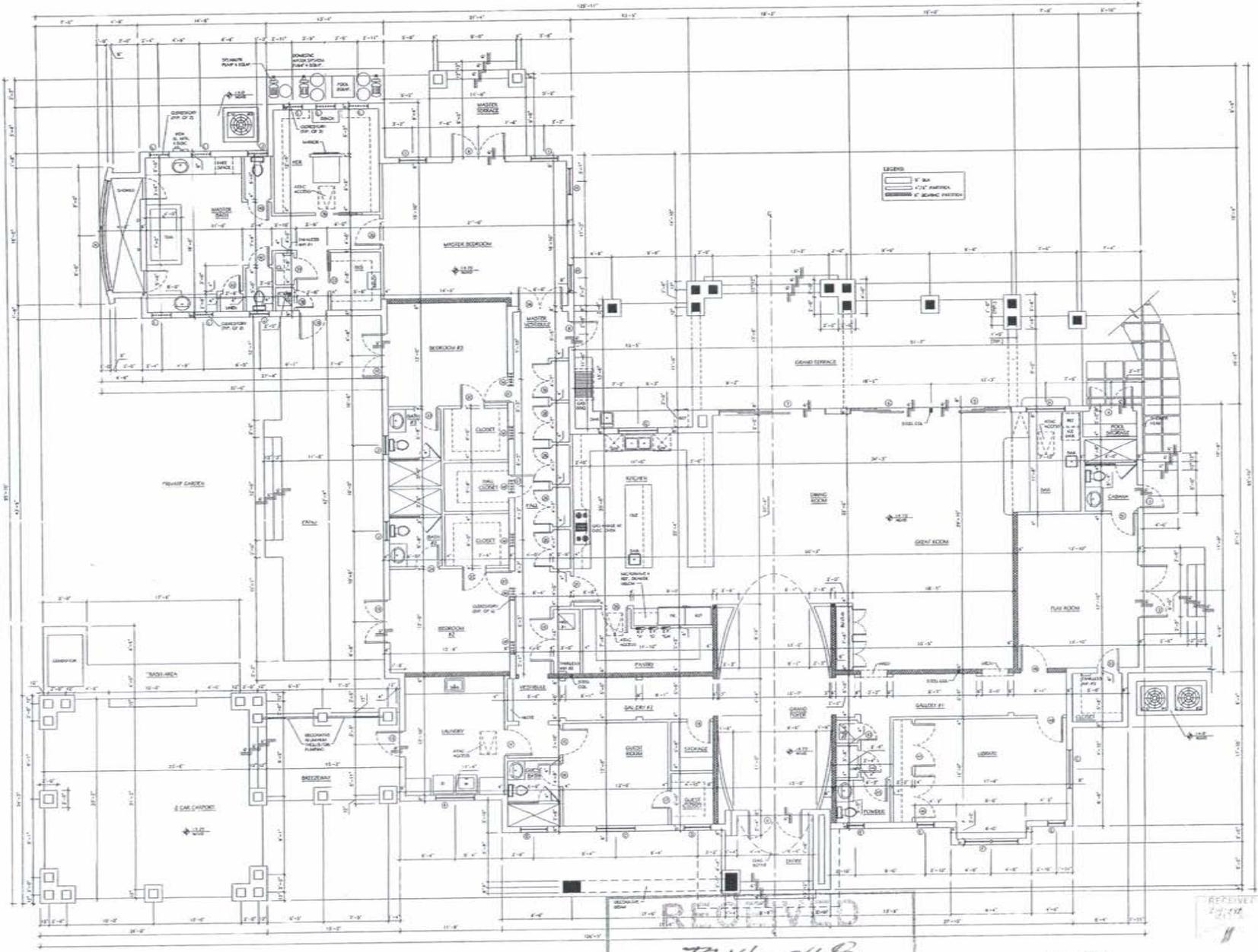
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**FLOOR PLAN**

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**A-2**  
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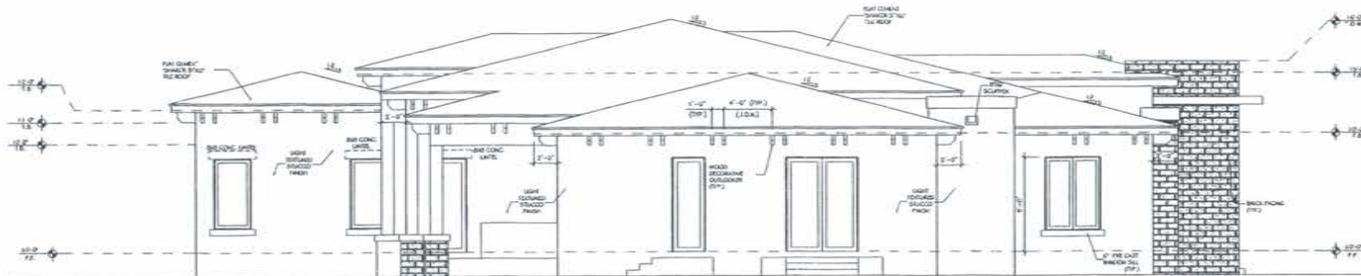


LEGEND  
V. SW  
V. W. PARTIAL  
V. W. PARTIAL

RECEIVED  
14-048  
FEB 27 2015

FLOOR PLAN  
SCALE: 1/4" = 1'-0"

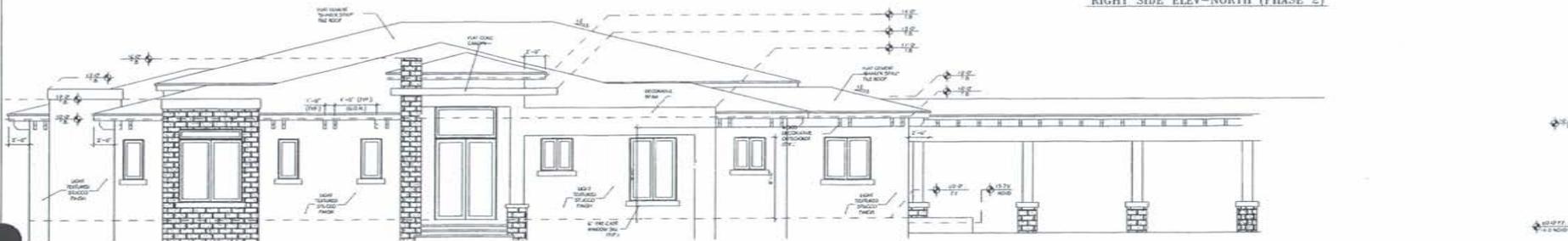
MIAMI-DADE COUNTY  
DEPARTMENT OF BUILDING AND ECONOMIC  
RESOURCES DEVELOPMENT SERVICES



LEFT SIDE ELEV-SOUTH (PHASE 2)



RIGHT SIDE ELEV-NORTH (PHASE 2)



FRONT ELEV-EAST (PHASE 2)



REAR ELEV-WEST (PHASE 2)

ELEVATIONS (PHASE 2)

ESC: N=1'-0"

RECEIVED  
 FEB 27 2015  
 214-6516  
 MIAMI-DADE COUNTY  
 DEPARTMENT OF REGULATORY AND ECONOMIC  
 RESOURCES DEVELOPMENT SERVICES  
 BV

23

**Richard Cortes**  
 ARCHITECT  
 7700 SW 115 ST  
 PINECREST, FL 33156  
 PH: 561 233-8888  
 FAX: 561 233-8884  
 rcortespa@aol.com



NEW RESIDENCE FOR:  
 MR. & MRS. DONER GARCIA  
 7001 SW 78TH COURT  
 MIAMI, FL. 33143

SHEET NAME  
 ELEVATIONS

1	ELEVATIONS
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DATE: 2/17/15  
 DRAWN BY: C.C.  
 SCALE: 1/8"=1'-0"

NORTH

A-2.1  
 SHEET No.

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52



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rcc@rca.com



NEW RESIDENCE FOR:  
**MR. & MRS. DONER GARCIA**  
7001 SW 79th COURT  
MIAMI, FL 33143

SHEET NAME

FENCE

NO.	REVISION
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DATE: 02/24/14

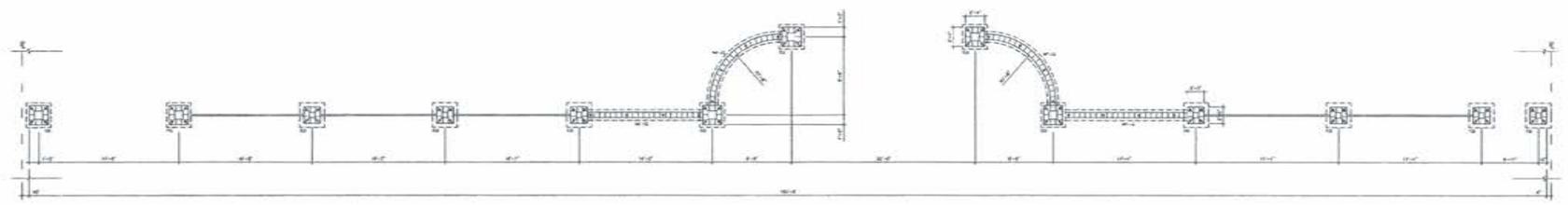
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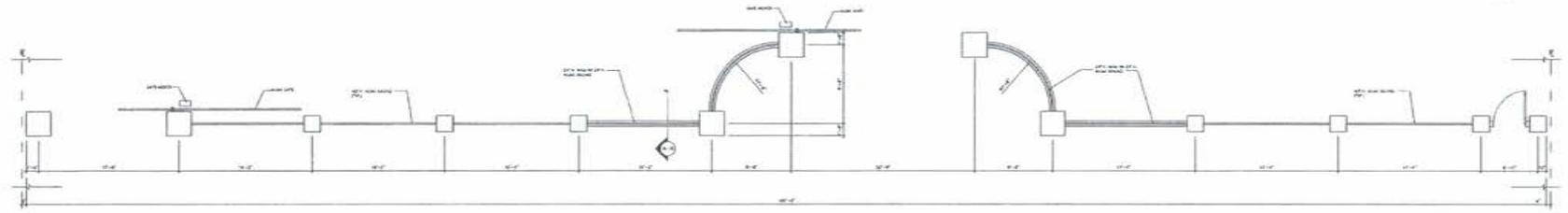


A-4

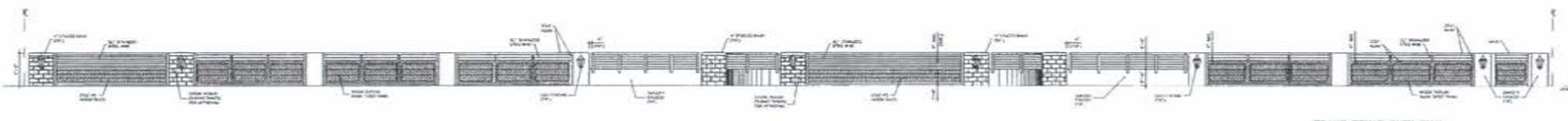
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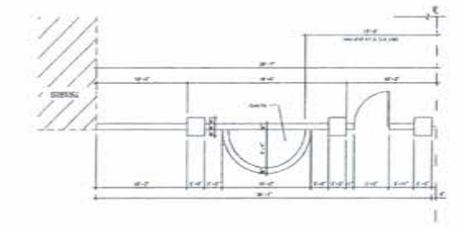
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SCALE: 1/4" = 1'-0"



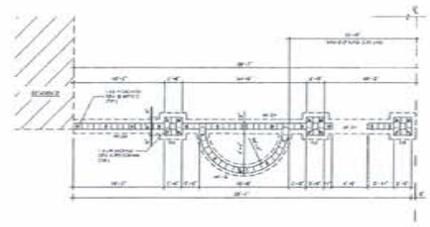
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SCALE: 1/4" = 1'-0"



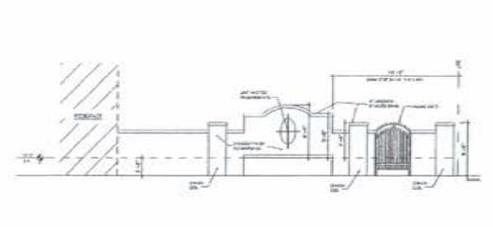
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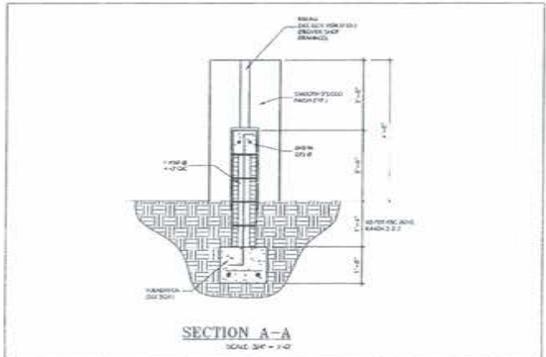
INTERIOR FENCE FLOOR PLAN  
SCALE: 1/4" = 1'-0"



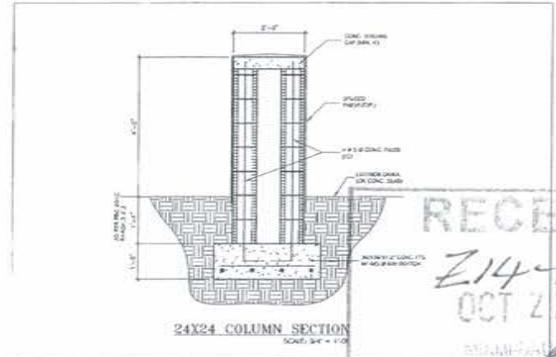
INTERIOR FENCE FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



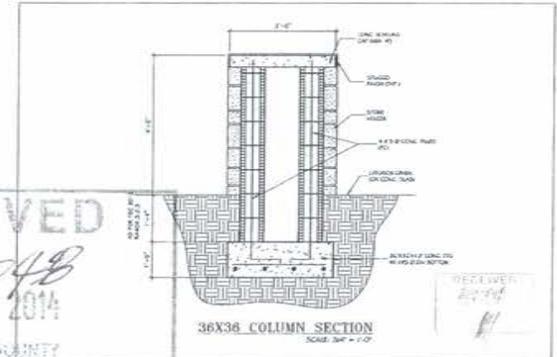
INTERIOR FENCE FRONT ELEVATION  
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SECTION A-A  
SCALE: 3/4" = 1'-0"



24X24 COLUMN SECTION  
SCALE: 3/4" = 1'-0"



36X36 COLUMN SECTION  
SCALE: 3/4" = 1'-0"

RECEIVED  
Z14-048  
OCT 22 2014  
MIAMI-DAD COUNTY  
DEPARTMENT OF BUILDING AND ECONOMIC  
REGULATION AND COMMUNITY SERVICES



**PLANTING NOTES:**

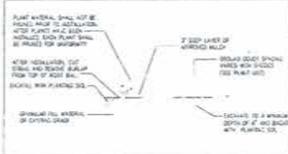
1. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE CHECKED BY THE ARCHITECT TO BE SET FORTH BY THE PLANNING DEPARTMENT OF AGRICULTURAL, GRASSLAND AND FORESTRY FOR PLANTING PLANS, PART 1 OF 1 (GENERAL SPECIFICATIONS).
2. ALL PLANT MATERIAL MUST BE AT LEAST ONE YEAR OLD AND MUST BE PLANTED IN THE PLANTING PERIOD.
3. QUANTITIES INDICATED ON THE PLANTING PLAN ARE FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST AND MOST ACCURATE PLANTING PLAN AND SHALL PROVIDE CORRECTIONS TO THE PLANTING PLAN.
4. ALL PLANTING MATERIALS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. TREES AND PLANTS SHALL BE PLANTED IN SUCH MANNER AS TO BE PROTECTED BY THE SOIL IN A SUFFICIENT MANNER AND SHALL BE PLANTED IN SUCH MANNER AS TO BE PROTECTED BY THE SOIL IN A SUFFICIENT MANNER.
6. PLANTING SOIL SHALL BE AT LEAST ONE INCH OF COMPOST AND FOR CONTOURING TO BE SET IN A SUFFICIENT MANNER AND SHALL BE PLANTED IN SUCH MANNER AS TO BE PROTECTED BY THE SOIL IN A SUFFICIENT MANNER.
7. ALL PLANT MATERIAL SHALL BE WATERED IN THOROUGHLY AT THE TIME OF PLANTING.
8. FERTILIZER FOR TREES AND SHRUBS SHALL BE A GENERAL PURPOSE FERTILIZER (10-10-10) AND SHALL BE PLANTED IN SUCH MANNER AS TO BE PROTECTED BY THE SOIL IN A SUFFICIENT MANNER.
9. ALL TREES AND PLANTS TO BE STORED AND CURED AS SHOWN IN PLANTING DETAILS.
10. ALL PLANTING BEDS AND TREE SAVERS SHALL BE INSTALLED WITH A FINISHING. THE FINISHING FOR PLANTING BEDS SHALL BE A MINIMUM OF 2" AND MUST BE SET IN A SUFFICIENT MANNER. THE FINISHING FOR TREE SAVERS SHALL BE A MINIMUM OF 2" AND MUST BE SET IN A SUFFICIENT MANNER.
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18. ALL PLANTING BEDS AND TREE SAVERS SHALL BE INSTALLED WITH A FINISHING. THE FINISHING FOR PLANTING BEDS SHALL BE A MINIMUM OF 2" AND MUST BE SET IN A SUFFICIENT MANNER. THE FINISHING FOR TREE SAVERS SHALL BE A MINIMUM OF 2" AND MUST BE SET IN A SUFFICIENT MANNER.
19. ALL PLANTING BEDS AND TREE SAVERS SHALL BE INSTALLED WITH A FINISHING. THE FINISHING FOR PLANTING BEDS SHALL BE A MINIMUM OF 2" AND MUST BE SET IN A SUFFICIENT MANNER. THE FINISHING FOR TREE SAVERS SHALL BE A MINIMUM OF 2" AND MUST BE SET IN A SUFFICIENT MANNER.
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TREE SCHEDULE					
NO.	TREE	REMARKS	QUANTITY (PLANTS)	PLANTING PERIOD	PLANTING PERIOD
1	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
2	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
3	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
4	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
5	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
6	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
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26	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
27	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
28	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
29	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
30	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
31	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
32	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
33	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
34	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
35	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
36	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
37	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
38	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
39	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
40	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
41	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
42	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
43	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
44	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
45	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
46	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
47	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
48	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
49	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14
50	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14	02/14/14

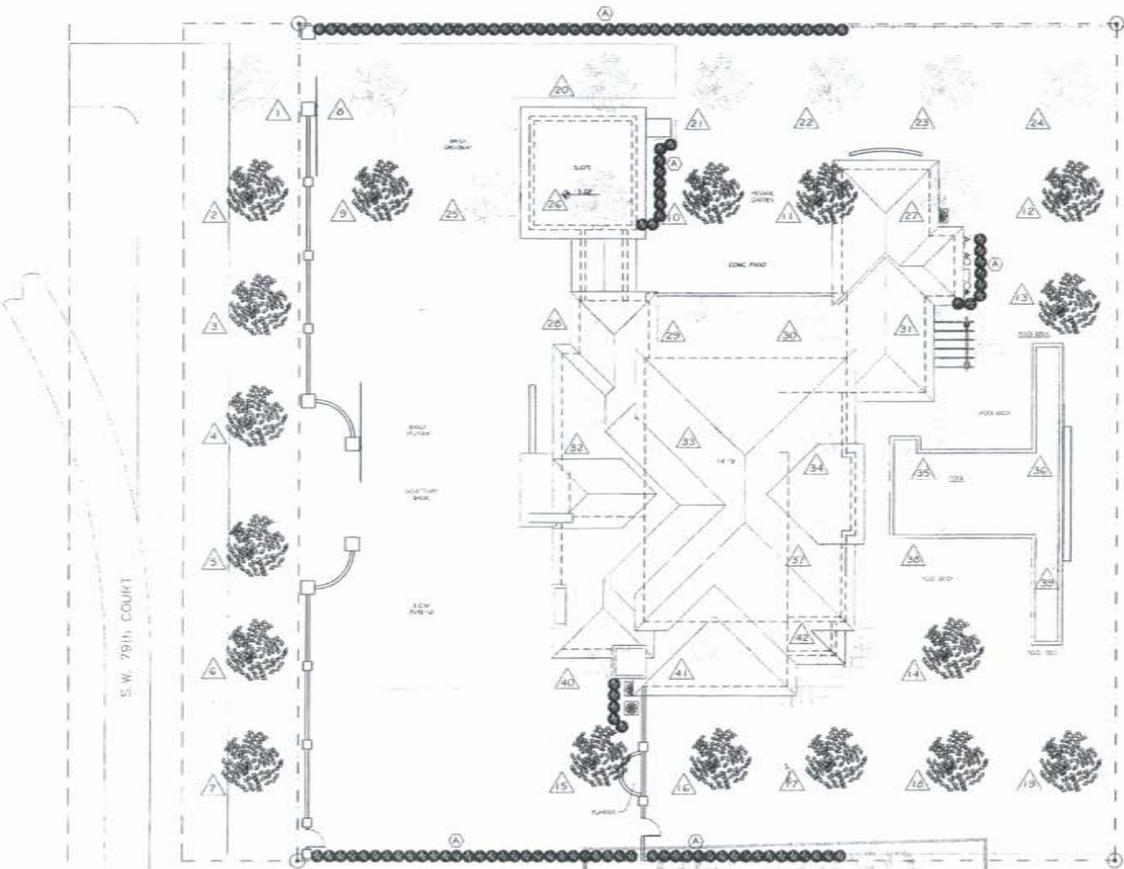
PAVEMENT SCHEDULE			
NO.	DESCRIPTION	QUANTITY (SQ. FT.)	PLANTING PERIOD
1	CONCRETE DRIVE	1000	02/14/14
2	CONCRETE WALKWAY	500	02/14/14
3	CONCRETE PATIO	200	02/14/14
4	CONCRETE PORCH	100	02/14/14
5	CONCRETE STEPS	50	02/14/14
6	CONCRETE CURB	200	02/14/14
7	CONCRETE DRIVE	1000	02/14/14
8	CONCRETE WALKWAY	500	02/14/14
9	CONCRETE PATIO	200	02/14/14
10	CONCRETE PORCH	100	02/14/14
11	CONCRETE STEPS	50	02/14/14
12	CONCRETE CURB	200	02/14/14
13	CONCRETE DRIVE	1000	02/14/14
14	CONCRETE WALKWAY	500	02/14/14
15	CONCRETE PATIO	200	02/14/14
16	CONCRETE PORCH	100	02/14/14
17	CONCRETE STEPS	50	02/14/14
18	CONCRETE CURB	200	02/14/14
19	CONCRETE DRIVE	1000	02/14/14
20	CONCRETE WALKWAY	500	02/14/14
21	CONCRETE PATIO	200	02/14/14
22	CONCRETE PORCH	100	02/14/14
23	CONCRETE STEPS	50	02/14/14
24	CONCRETE CURB	200	02/14/14
25	CONCRETE DRIVE	1000	02/14/14
26	CONCRETE WALKWAY	500	02/14/14
27	CONCRETE PATIO	200	02/14/14
28	CONCRETE PORCH	100	02/14/14
29	CONCRETE STEPS	50	02/14/14
30	CONCRETE CURB	200	02/14/14

**LANDSCAPE NOTES:**

1. LANDSCAPE ARCHITECT TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
2. LANDSCAPE ARCHITECT TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
3. LANDSCAPE ARCHITECT TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.
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20. LANDSCAPE ARCHITECT TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI.



SHRUB SPECIES					
NO.	TYPE	DESCRIPTION	REMARKS	QUANTITY	PLANTING PERIOD
1	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
2	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
3	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
4	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
5	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
6	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
7	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
8	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
9	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
10	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
11	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
12	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
13	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
14	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
15	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
16	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
17	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
18	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
19	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14
20	SHRUB	SPYRUS PRUNIFOLIA	12" DBH	10	02/14/14



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 214-048  
 NOV 06 2014  
 HANGZHOU UNIVERSITY  
 DEPARTMENT OF REGULATORY AND ECONOMIC  
 SERVICES DEVELOPMENT SERVICES  
 Rv

LANDSCAPE PLAN  
 SCALE: 1"=10'-0"



**RICHARD CORTES**  
 ARCHITECT  
 AND CONSULTANT  
 7700 SW 110 ST  
 PUNICHERST, FL 33146  
 TEL: 305 533-0818  
 FAX: 305 533-8814  
 rcortesy@gmail.com



NEW RESIDENCE FOR:  
**MR. & MRS. DONER GARCIA**  
 7001 SW 79th COURT  
 MIAMI, FL. 33143

SHEET NAME  
 LANDSCAPE PLAN

NO.	REVISION	DATE
1		6-9-14
2		
3		

DATE: 02/24/14  
 DRAWN BY: PMP  
 SCALE: 1"=10'-0"



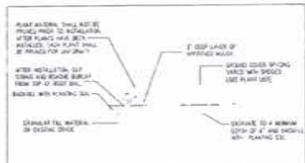
**L-1**  
 SHEET No.

**EXPLANATORY NOTES**

1. ALL PLANT MATERIAL PLANTED BY THE CONTRACTOR SHALL BE OF THE QUALITY AND SPECIES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTING MATERIALS AND METHODS TO BE USED.
2. ALL PLANT MATERIAL MUST BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.
3. QUANTITIES INDICATED ON THE PLANS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTING MATERIALS AND METHODS TO BE USED.
4. ALL PLANTING MATERIALS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. TREES AND SHRUBS SHALL BE PLANTED SO THAT HEADS WILL BE CLEAR OF ALL STRUCTURES AT ALL TIMES.
6. PLANTING SHALL BE AT LEAST ONE FOOT FROM CURBS AND ONE FOOT FROM THE SIDE OF THE ROAD. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.
7. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.
8. ALL TREES AND SHRUBS TO BE PLANTED SHALL BE SHOWN ON THE PLANS.
9. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL PLANTING MATERIALS AND METHODS TO BE USED.
11. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.
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16. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.
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19. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.
20. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.

TREE SCHEDULE										
#	TYPE	REMARKS	TREES (INCHES)	CONSP. (FEET)	APPROX. QUANTITY	APPROX. COST	APPROX. QUANTITY	APPROX. COST	APPROX. QUANTITY	APPROX. COST
1	FLORIDA PALM	18" DBH	18"	30'	10	\$1,000	10	\$1,000	10	\$1,000
2	FLORIDA PALM	12" DBH	12"	30'	20	\$2,000	20	\$2,000	20	\$2,000
3	FLORIDA PALM	8" DBH	8"	30'	40	\$4,000	40	\$4,000	40	\$4,000
4	FLORIDA PALM	6" DBH	6"	30'	80	\$8,000	80	\$8,000	80	\$8,000
5	FLORIDA PALM	4" DBH	4"	30'	160	\$16,000	160	\$16,000	160	\$16,000
6	FLORIDA PALM	3" DBH	3"	30'	320	\$32,000	320	\$32,000	320	\$32,000
7	FLORIDA PALM	2" DBH	2"	30'	640	\$64,000	640	\$64,000	640	\$64,000
8	FLORIDA PALM	1" DBH	1"	30'	1280	\$128,000	1280	\$128,000	1280	\$128,000
9	FLORIDA PALM	18" DBH	18"	30'	10	\$1,000	10	\$1,000	10	\$1,000
10	FLORIDA PALM	12" DBH	12"	30'	20	\$2,000	20	\$2,000	20	\$2,000
11	FLORIDA PALM	8" DBH	8"	30'	40	\$4,000	40	\$4,000	40	\$4,000
12	FLORIDA PALM	6" DBH	6"	30'	80	\$8,000	80	\$8,000	80	\$8,000
13	FLORIDA PALM	4" DBH	4"	30'	160	\$16,000	160	\$16,000	160	\$16,000
14	FLORIDA PALM	3" DBH	3"	30'	320	\$32,000	320	\$32,000	320	\$32,000
15	FLORIDA PALM	2" DBH	2"	30'	640	\$64,000	640	\$64,000	640	\$64,000
16	FLORIDA PALM	1" DBH	1"	30'	1280	\$128,000	1280	\$128,000	1280	\$128,000
17	FLORIDA PALM	18" DBH	18"	30'	10	\$1,000	10	\$1,000	10	\$1,000
18	FLORIDA PALM	12" DBH	12"	30'	20	\$2,000	20	\$2,000	20	\$2,000
19	FLORIDA PALM	8" DBH	8"	30'	40	\$4,000	40	\$4,000	40	\$4,000
20	FLORIDA PALM	6" DBH	6"	30'	80	\$8,000	80	\$8,000	80	\$8,000
21	FLORIDA PALM	4" DBH	4"	30'	160	\$16,000	160	\$16,000	160	\$16,000
22	FLORIDA PALM	3" DBH	3"	30'	320	\$32,000	320	\$32,000	320	\$32,000
23	FLORIDA PALM	2" DBH	2"	30'	640	\$64,000	640	\$64,000	640	\$64,000
24	FLORIDA PALM	1" DBH	1"	30'	1280	\$128,000	1280	\$128,000	1280	\$128,000
25	FLORIDA PALM	18" DBH	18"	30'	10	\$1,000	10	\$1,000	10	\$1,000
26	FLORIDA PALM	12" DBH	12"	30'	20	\$2,000	20	\$2,000	20	\$2,000
27	FLORIDA PALM	8" DBH	8"	30'	40	\$4,000	40	\$4,000	40	\$4,000
28	FLORIDA PALM	6" DBH	6"	30'	80	\$8,000	80	\$8,000	80	\$8,000
29	FLORIDA PALM	4" DBH	4"	30'	160	\$16,000	160	\$16,000	160	\$16,000
30	FLORIDA PALM	3" DBH	3"	30'	320	\$32,000	320	\$32,000	320	\$32,000
31	FLORIDA PALM	2" DBH	2"	30'	640	\$64,000	640	\$64,000	640	\$64,000
32	FLORIDA PALM	1" DBH	1"	30'	1280	\$128,000	1280	\$128,000	1280	\$128,000

SHRUB SCHEDULE					
MARK	TYPE	DIAMETER	HEIGHT	QUANTITY	REMARKS
1	FLORIDA PALM	18"	30'	10	
2	FLORIDA PALM	12"	30'	20	
3	FLORIDA PALM	8"	30'	40	
4	FLORIDA PALM	6"	30'	80	
5	FLORIDA PALM	4"	30'	160	
6	FLORIDA PALM	3"	30'	320	
7	FLORIDA PALM	2"	30'	640	
8	FLORIDA PALM	1"	30'	1280	



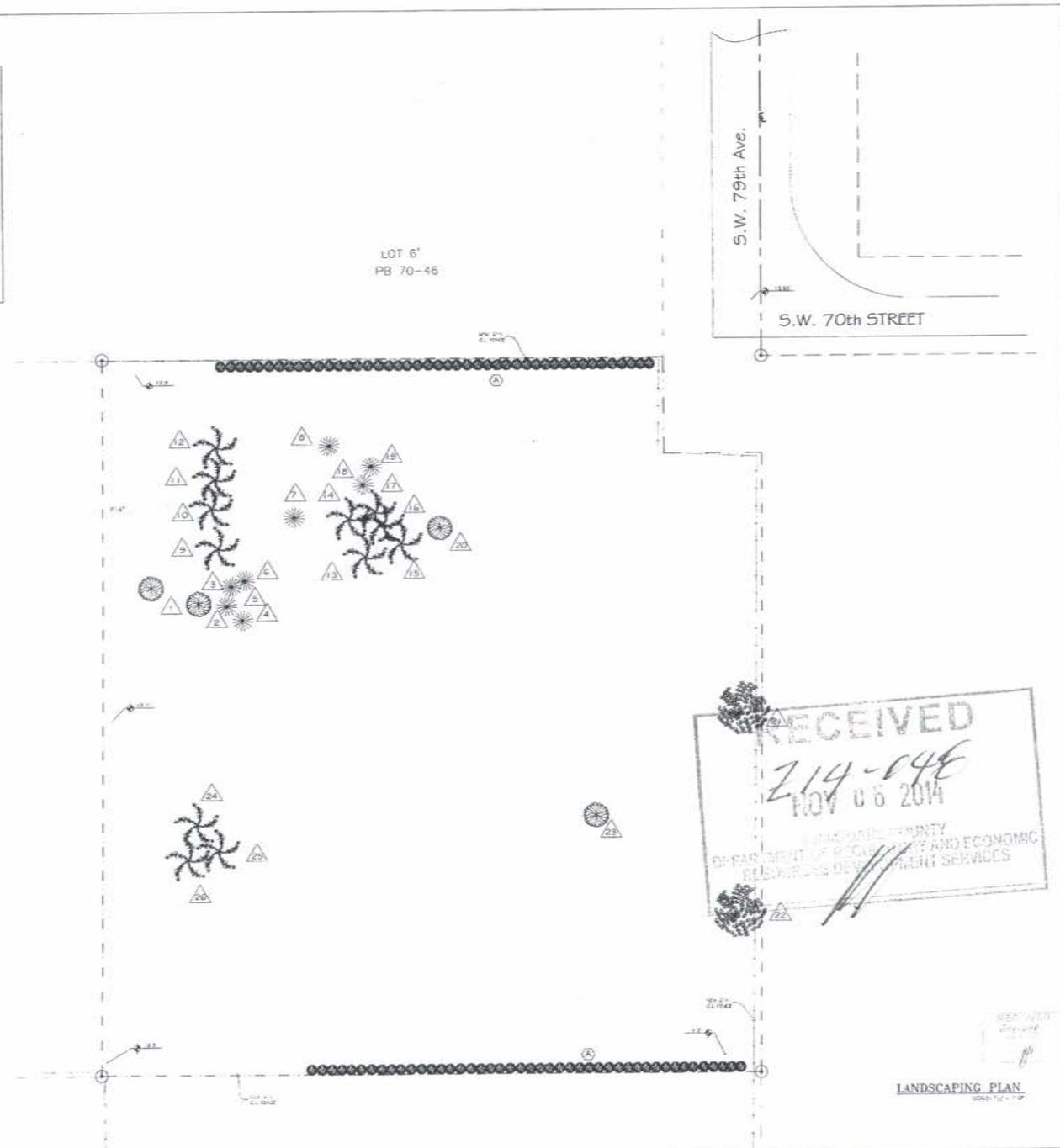
LANDSCAPE LEGEND	
18" DBH	FLORIDA PALM
12" DBH	FLORIDA PALM
8" DBH	FLORIDA PALM
6" DBH	FLORIDA PALM
4" DBH	FLORIDA PALM
3" DBH	FLORIDA PALM
2" DBH	FLORIDA PALM
1" DBH	FLORIDA PALM
18" DBH	FLORIDA PALM
12" DBH	FLORIDA PALM
8" DBH	FLORIDA PALM
6" DBH	FLORIDA PALM
4" DBH	FLORIDA PALM
3" DBH	FLORIDA PALM
2" DBH	FLORIDA PALM
1" DBH	FLORIDA PALM

**LANDSCAPE NOTES**

1. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.

2. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.

3. ALL PLANTING MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS AND PLANTING SCHEDULE.



**RECEIVED**  
 214-046  
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 MIAMI DADE COUNTY  
 DEPARTMENT OF PLANNING AND ECONOMIC  
 DEVELOPMENT SERVICES

**RICHARD CORTES**  
 ARCHITECT  
 7708 SW 118 ST  
 PINECREST, FL 33156  
 PH: 305 533-0000  
 FAX: 305 533-1888  
 rcc@rccga.com

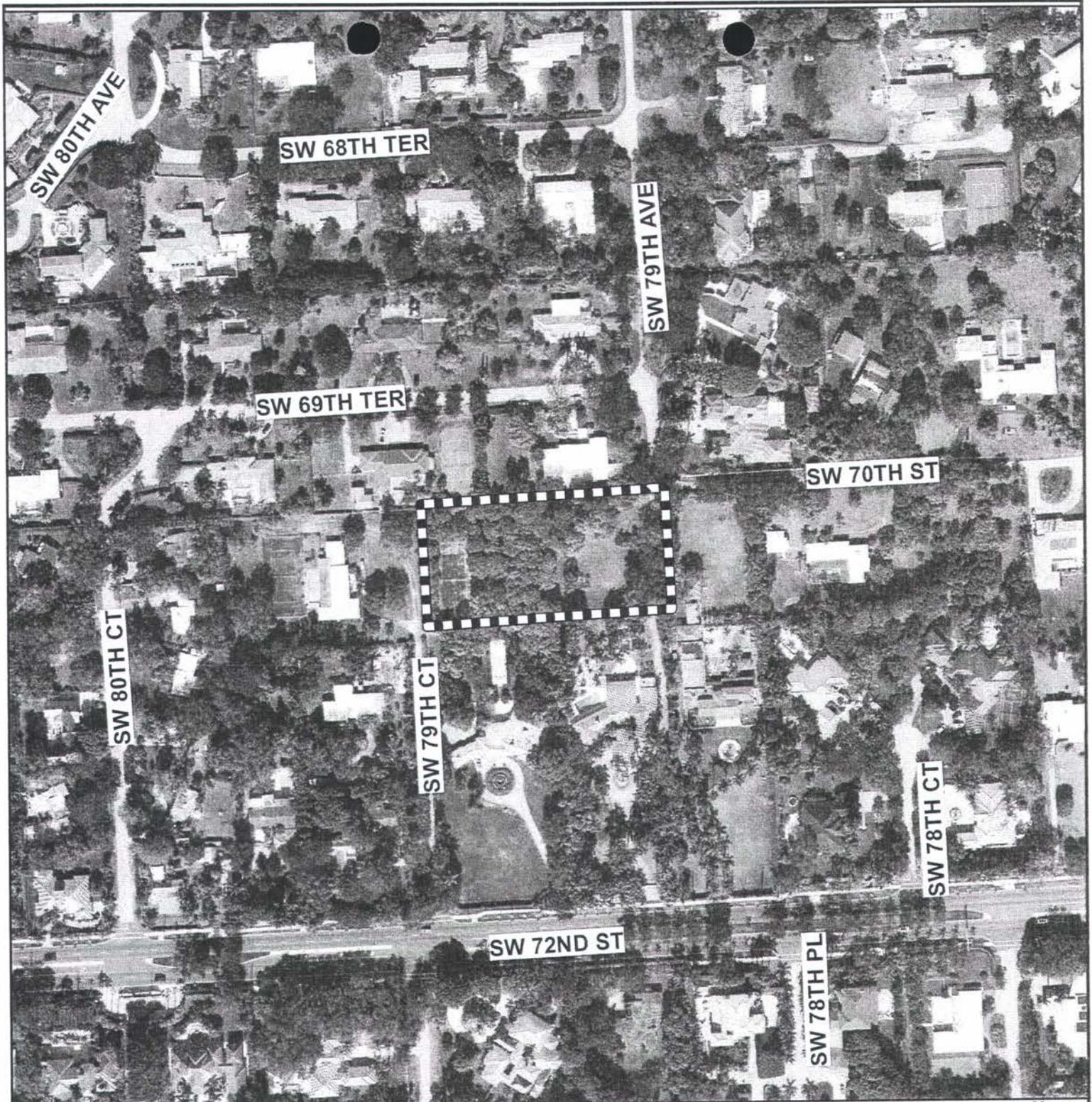
**MR. & MRS. DONER GARCIA**  
 79xx SW 70th Street  
 MIAMI, FL 33143

**NEW RESIDENCE FOR:**

**SHEET NAME**  
 LANDSCAPING PLAN

**DATE:** 05/06/14  
**DRAWN BY:** PMP  
**SCALE:** 1"=10'-0"  
**SOUTH**  
**L-1**  
 SHEET No.





**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2013**

Process Number

**Z2014000048**

Legend

 Subject Property

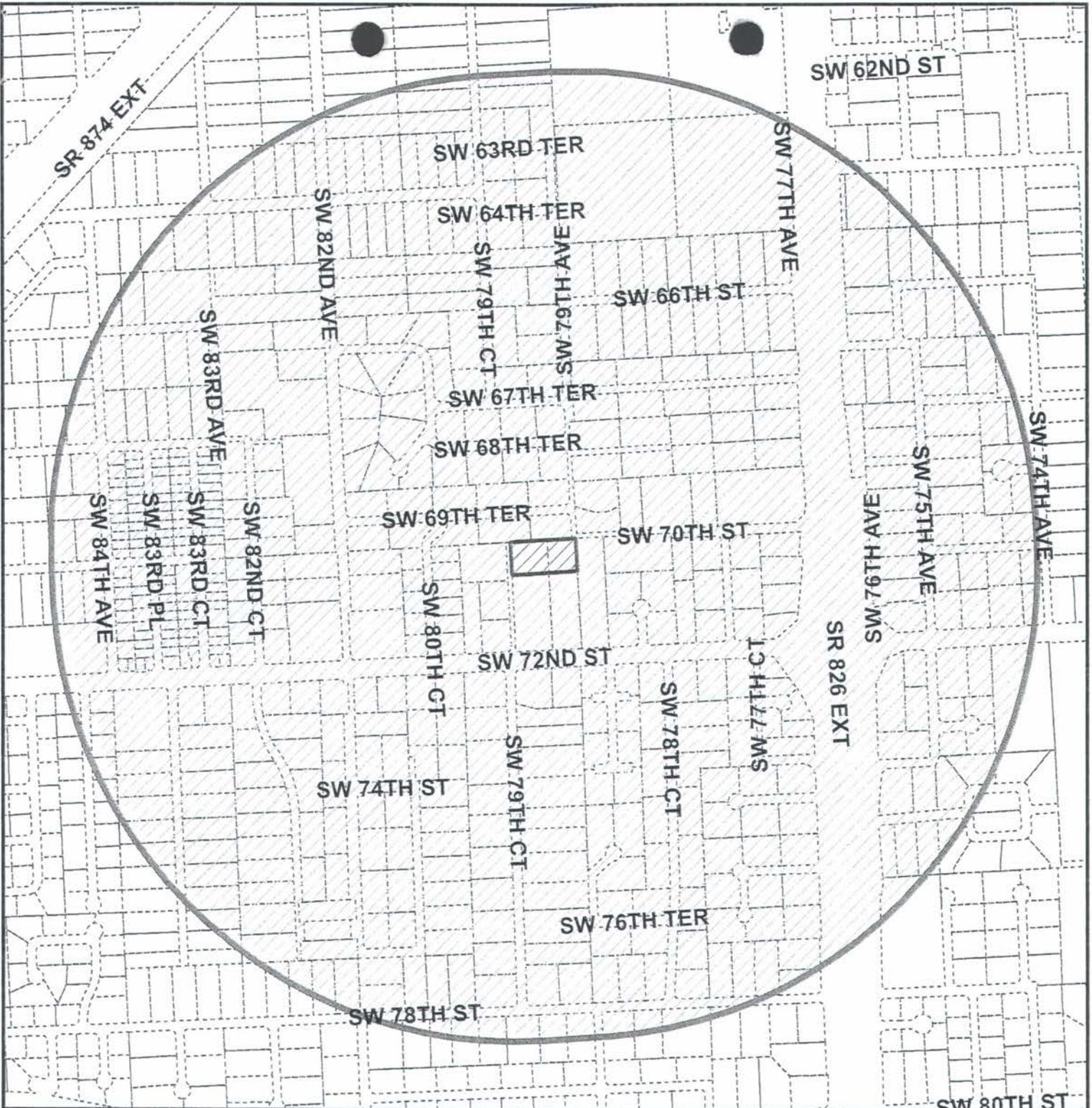


Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		30



**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

Process Number  
**Z2014000048**  
 RADIUS: 2640

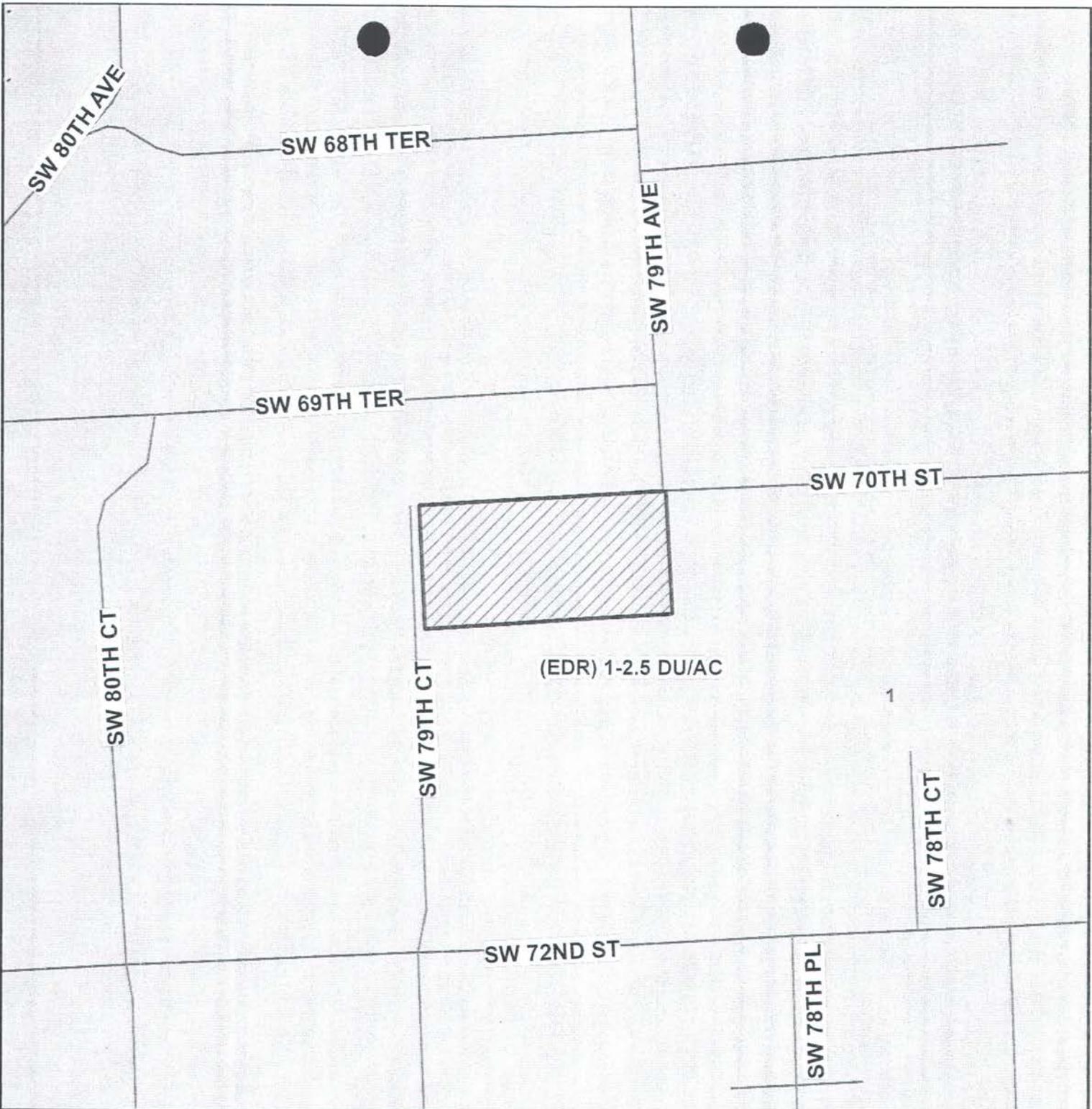
**Legend**

-  Subject Property
-  Buffer
-  Street (Centerline)
-  Property Boundaries



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		31



**MIAMI-DADE COUNTY**  
**CDMP MAP**

Process Number

**Z2014000048**



Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY

**Miami-Dade County Department of Regulatory and Economic Resources  
Staff Report to Community Council No. 12**

PH: Z14-048 (14-4-CZ12-1)

June 9, 2015  
Item No. 1

<b>Recommendation Summary</b>	
<b>Commission District</b>	7
<b>Applicants</b>	Maria Fanti
<b>Summary of Requests</b>	The applicant seeks to split the existing 1.5 acre parcel into two lots, with variances to the lot frontage, lot area and lot depth requirements. Additionally, the applicant seeks to permit proposed residences on the parcels with setback less than required from property lines, and with more lot coverage than allowed by the zoning district regulations.
<b>Location</b>	Lying approximately 141' south of SW 69 terrace, between theoretical SW 79 Avenue and SW 79 Court AKA 7001 SW 79 Court, Miami-Dade County, Florida.
<b>Property Size</b>	1.5 acres
<b>Existing Zoning</b>	EU-1, Single-Family One Acre Estate District
<b>Existing Land Use</b>	vacant
<b>2020-2030 CDMP Land Use Designation</b>	Estate Density Residential, 1 to 2.5 dua <i>(see attached Zoning Recommendation Addendum)</i>
<b>Comprehensive Plan Consistency</b>	Consistent with interpretative text, goals, objectives and policies of the CDMP
<b>Applicable Zoning Code Section(s)</b>	Section 33-311(A)(4)(b), Non-Use Variance standards <i>(see attached Zoning Recommendation Addendum)</i>
<b>Recommendation</b>	<b>Denial without prejudice.</b>

**REQUESTS:**

REQUESTS #1 THROUGH  
#3 ON PARCEL "A"

1. NON-USE VARIANCE to permit proposed Parcel "A" with an area of 30,359 (43,560 sq. ft. required), a frontage of 50' (125' minimum required) and a lot depth of 160' (200' minimum required).
2. NON-USE VARIANCE to permit a lot coverage of 26% (20% maximum permitted).
3. NON-USE VARIANCE to permit the proposed building to setback 25' (50' required) from the front (east) property line and setback 23'-25" (25' required) from the rear (west) property line.

REQUESTS #4 AND #5 ON PARCEL "B"

4. NON-USE VARIANCE to permit the proposed Parcel "B" with an area of 37,455 sq. ft. (43,560 sq. ft. required).
5. NON-USE VARIANCE to permit a proposed lot coverage of 22.17% (20% maximum permitted).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources entitled "New Residence for Mr. & Mrs. Doner Garcia" as prepared by Richard Cortes Architect, Sheets A-1, A-2, A-3 & A-4 dated stamped received 10/22/14, Sheets, SP-1.2, A-1.2, A-2.1 & L-1.2 dated stamped received 2/27/15 and the remaining 2 sheets dated stamped received 11/6/14 for a total of 10 sheets. Plans may be modified at public hearing.

**PROJECT DESCRIPTION:**

The subject property has a gross area of 69,056 sq. ft. (1.5 acres). The applicant seeks to subdivide the subject property into two (2) parcels (Parcel "A" and "B"). The site plan shows Parcel A with a proposed 7,896 sq. ft. single-family residence and Parcel B with a proposed 7,277 sq. ft. single-family residence.

<b><u>NEIGHBORHOOD CHARACTERISTICS</u></b>		
	<b>Zoning and Existing</b>	<b>Land Use Designation</b>
<b>Subject Property</b>	EU-1; vacant lots	Estate Density Residential (1 to 2.5 dua)
<b>North</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>South</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>East</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)
<b>West</b>	EU-1; single-family residence	Estate Density Residential (1 to 2.5 dua)

**NEIGHBORHOOD COMPATIBILITY:**

The subject property is zoned EU-1, Single-Family One Acre Estate District, and lying approximately south of SW 69 Terrace, between theoretical SW 79 Avenue and SW 79 Court. The area surrounding the subject property is primarily characterized by single-family residences developed under the EU-1 zoning district regulations

**SUMMARY OF THE IMPACTS:**

The approval of this application will allow the applicant to provide additional housing in this section of the County. However, approval of the requests could have a visual impact on the surrounding properties, and could negatively impact traffic on the abutting roadways based on memorandum submitted by the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources.

**COMPREHENSIVE DEVELOPMENT MASTER PLAN ANALYSIS:**

The Comprehensive Development Master Plan (CDMP) Land Use Plan (LUP) map designates the site for **Estate Density Residential**. Approval of these requests would result in the construction of two (2) single-family residential units on the 1.5-gross acre parcel, which meets the density threshold of the land use designation. Staff opines that because this application does not propose a use different from those allowed in this land use category and does not generate any additional units, approval of the requests is **consistent** with the uses allowed

under the Estate Density Residential Land use category text and the density threshold of CDMP Estate Density Residential Communities LUP map designation.

### ZONING ANALYSIS:

The 1.5 gross acre subject property is zoned EU-1, and the applicant seeks to create two contiguously owned non-conforming lots (Parcel A and Parcel B), on which the applicant is proposing to develop two single-family residences.

When analyzing the requests on Parcel A, to permit the parcel with less lot area, less lot frontage, and less lot depth than is required (request #1), to permit the parcel with less lot coverage than is required (request #2) and to permit a proposed residence on this parcel setback less than required from the front and rear property lines (requests #3), under the Non-Use Variance (NUV) Standards, Section 33-311(A)(4)(b), staff opines that approval of these requests would be **incompatible** with the surrounding area for the reasons stated below.

In request #1, the applicant seeks to permit proposed Parcel "A" with an area of 30,359 sq. ft. (required 43,560 sq. ft.), a frontage of 50' (125' minimum required) and a lot depth of 160' (200' minimum required). The applicant also seeks to access to Parcel A from SW 70 Street located to the east. Staff did research of the area and found similar approvals for lot area and lot depth. However, staff did not find any similar approvals in the area for lot frontage, which staff opines is too intensive and would be out of character with the area. Because the requested lot area and lot depth are contingent on the requested lot frontage, and the requests are inextricably intertwined, staff therefore opines that request #1 in its entirety would be incompatible with the surrounding area. In addition, staff notes that the Platting and Traffic Review Section of the Department of Regulatory and Economic Resources (RER) has stated their objection to the proposed access from SW 70 Street, as it could negatively impact traffic on the abutting roadways, SW 70 Street and SW 79 Avenue. Without access from SW 70<sup>th</sup> Street, there would be no street access to Parcel A, and for this additional reason, staff opines that the request would be incompatible with the surrounding area.

In analyzing request #2, to permit a lot coverage of 26% (20% minimum required) and request #3, to permit the proposed building to setback 25' (50' required) from the front (east) property line and setback 23'-25" (25' required) from the rear (west) property line, staff did research of the area, and found similar or more intensive approvals for lot coverage and front and rear setbacks. However, the requested lot coverage and the requested front and rear setbacks for Parcel A are inextricably intertwined with request #1 for Parcel A, and cannot stand on their own, and staff therefore opines that requests #2 and 3 would not be **compatible** with the surrounding area.

In analyzing requests on Parcel "B" to permit a lot area of 37,455 sq. ft. (43,560 sq. ft. required) (request #4) and to permit a proposed lot coverage of 22.17% (20% maximum permitted) (request #5), under the Non-Use Variance (NUV) Standards, staff opines that the requests would not be compatible with the surrounding area for the reasons stated herein. Staff did research of the area and found similar or more intensive approvals for lot area and lot coverage. However, staff opines that these requests for Parcel B are inextricably intertwined with the requests on Parcel A, and the requests for Parcel B cannot stand on their own. As previously discussed, the requests for Parcel A are too intensive and are not compatible with the surrounding area. Therefore, for the reasons that were previously explained in the above mentioned zoning analysis, approval of the requests for both Parcel A and Parcel B, which are

inextricably intertwined, would not maintain the basic intent of the zoning, subdivision and other land use regulations, and would be incompatible with surrounding area. **Based on the foregoing analysis, staff recommends that the application be denied without prejudice under the NUV Standards, Section 33-311(A)(4)(b).**

**ACCESS, CIRCULATION AND PARKING:** Not applicable.

**NEIGHBORHOOD SERVICES PROVIDER REVIEW:** See attached.

**OTHER:** Not applicable.

**RECOMMENDATION:** Denial without prejudice.

**CONDITIONS FOR APPROVAL:** None.

NK:MW:NN:CH:EJ



Nathan Kogon, AICP, Assistant Director  
Development Services Division  
Miami-Dade County  
Department of Regulatory and Economic Resources

# ZONING RECOMMENDATION ADDENDUM

Applicant: Maria Fanti  
PH: Z14-048

<b>NEIGHBORHOOD SERVICES PROVIDER COMMENTS*</b>	
Division of Environmental Resource Management (RER)	No objection
Platting and Traffic Review Section (RER)	*Objects
Parks	No objection
Fire Rescue	No objection
Police	No comment
Public Works and Waste Management Department	No comment
Schools	No comment
*Subject to conditions in their memorandum.	

## COMPREHENSIVE DEVELOPMENT MASTER PLAN (CDMP) OBJECTIVES, POLICIES AND INTERPRETATIVE TEXT

<b>Estate Density Residential (Pg. I-31)</b>	<i>The Adopted 2020 and 2030 Land Use Plan designates the subject property as being within the Urban Development Boundary for Estate Density Residential use. This density range is typically characterized by detached estates which utilize only a small portion of the total parcel. Clustering, and a variety of housing types may, however, be authorized. The residential densities allowed in this category shall range from a minimum of 1.0 to a maximum of 2.5 dwelling units per gross acre.</i>
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## PERTINENT ZONING REQUIREMENTS/STANDARDS

<b>Section 33-311(A)(4)(b) Non-Use Variances From Other Than Airport Regulations.</b>	<i>Upon appeal or direct application in specific cases, the Board shall hear and grant applications for <b>non-use variances</b> from the terms of the zoning and subdivision regulations and may grant a non-use variance upon a showing by the applicant that the non-use variance maintains the basic intent and purpose of the zoning, subdivision and other land use regulations, which is to protect the general welfare of the public, particularly as it affects the stability and appearance of the community and provided that the non-use variance will be otherwise compatible with the surrounding land uses and would not be detrimental to the community. No showing of unnecessary hardship to the land is required.</i>
---	--

**1. MARIA FANTI**  
**(Applicant)**

**15-6-CZ12-1 (14-048)**  
**Area 12/District 07**  
**Hearing Date: 06/09/15**

Property Owner (if different from applicant) **Same.**

Is there an option to purchase  /lease  the property predicated on the approval of the zoning request? Yes  No

Disclosure of interest form attached? Yes  No

**Previous Zoning Hearings on the Property:**

<u>Year</u>	<u>Applicant</u>	<u>Request</u>	<u>Board</u>	<u>Decision</u>
None				

Action taken today does not constitute a final development order, and one or more concurrency determinations will subsequently be required. Provisional determinations or listings of needed facilities made in association with this Initial Development Order shall not be binding with regard to future decisions to approve or deny an Intermediate or Final Development Order on any grounds.

# Memorandum



**Date:** March 16, 2015

**To:** Jack Osterholt, Deputy Mayor/Director  
Department of Regulatory and Economic Resources

**From:** Jose Gonzalez, P.E.  
Department of Regulatory and Economic Resources

**Subject:** C-12 #Z2014000048-2<sup>nd</sup> Revision  
Maria Fanti  
7001 SW 79<sup>th</sup> Court, Miami, FL 33143  
7900 SW 70 Street, Miami, FL 33143  
Non-Use Variance of lot area and lot frontage requirements.  
(EU-1) (1.57 Acres)  
27-54-40

A handwritten signature in black ink, appearing to read "Jose Gonzalez", written over the "From:" field of the memorandum.

The subject application has been reviewed by the Department of Regulatory and Economic Resources – Division of Environmental Resources Management (DERM) for compliance with the requirements of Chapter 24 of the Miami-Dade County Code (the Code) and meets the minimum requirements of the Code. Accordingly, the application may be scheduled for public hearing.

#### Wellfield Protection

The subject property is located within the Basic Wellfield Protection Area for the Alexander Orr Wellfield. The site is situated within the 100-day and 210-day travel time contour of the Alexander Orr Wellfield. Therefore, development on the subject property shall be in accordance with regulations established in Section 24-43 of the Code.

As per the Code, resources that generate, handle, dispose of, discharge or store hazardous materials are not allowed on the property. Applicant is advised that the only fuel allowed for the proposed generator is natural gas.

#### Potable Water Service

##### **Parcel "A":**

Public water is not available to the subject property. DERM has no objection to this type of low intensity development served by an individual water supply system, provided that groundwater quality in the area is such that drinking water standards can be met by the proposed water supply system. A minimum separation distance of 100 feet is required between any well and all septic tank drainfields, all surface waters and any other source of contamination.

##### **Parcel "B":**

The closest public water main is located approximately 390 feet from the subject property. Based on the proposed request, the subject property is within feasible distance for connection to public water. Therefore, connection of the proposed development on Parcel "B" to the public water supply system shall be required in accordance with the Code requirements. The required water main extension permit is issued by the Florida Department of Health. Civil drawings for the proposed water main extension will need to be approved by the Miami-Dade Water and Sewer Department and the Environmental Plan Review Specialty Section of DERM.

### Wastewater Disposal

#### **Parcel "A":**

Public sanitary sewers are not located within feasible distance for connection to the subject property. Consequently, any proposed development would have to be served by a septic tank and drainfield as a means for the disposal of domestic liquid waste. DERM has no objection to the interim use of a septic tank and drainfield, provided that the maximum sewage loading allowed by Section 24-43.1(3) of the Code is not exceeded. Based on available information, the proposed single-family residence or duplex served by a septic tank would not exceed the maximum allowable sewage loading for the subject property.

### Wastewater Disposal

#### **Parcel "B":**

Public sanitary sewers are not located within feasible distance for connection to the subject property; consequently, any proposed development would have to be served by a septic tank and drainfield as a means for the disposal of domestic liquid waste. DERM has no objection to the interim use of a septic tank and drainfield provided that the maximum sewage loading allowed by Section 24-43.1(3) of the Code is not exceeded and the property is connected to public water. Based on available information, the proposed single-family residence or duplex served by a septic tank would not exceed the maximum allowable sewage loading for the subject property.

### Stormwater Management

Stormwater shall be retained on site utilizing properly designed seepage or infiltration drainage system. Drainage plans shall provide for full on-site retention of the stormwater runoff generated by a 5-year / 1-day storm event.

Site grading and development plans shall comply with the requirements of Chapter 11C of the Code, as well as with all state and federal criteria, and shall not cause flooding of adjacent properties.

Any proposed development shall comply with county and federal flood criteria requirements. The proposed development order, if approved, will not result in a reduction in the LOS standards for flood protection set forth in the CDMP subject to compliance with the conditions required for this proposed development order.

Drainage restrictions may be applicable, since the site is located within the 100-day and 210-day travel time contour of the Alexander Orr Wellfield.

### Tree Preservation

The subject properties contain specimen-sized (trunk diameter 18 inches or greater) trees. Please note that Section 24-49 of the Code and CON 8A of the CDMP provide for the preservation and protection of specimen trees. Projects shall be designed to meet the requirements of Sections 24-49.2 and 24-49.4 of the Code including compliance with the specimen tree preservation requirements of the Code as well as CON 8A of the Comprehensive Development Master Plan. The landscape plans submitted depict specimen sized trees to be preserved on-site however non specimen trees will be removed.

A Miami-Dade County Tree Permit is required prior to the removal and/or relocation of any tree that is subject to the Tree Preservation and Protection provisions of the Code.

Finally, in accordance with the Code and CON8I of the CDMP, all plants prohibited by the Code shall be removed from all portions of the property prior to development, or redevelopment and developed

parcels shall be maintained to prevent the growth or accumulation of prohibited species. DERM also recommends that this requirement be included as a condition of any zoning approval.

The applicant is advised to contact Tree Permitting Program at (305) 372-6574 for additional information regarding permitting procedures and requirements.

Enforcement History

There are no open or closed enforcement records for violations of Chapter 24 of the Code for the subject property.

Concurrency Review Summary

A concurrency review has been conducted for this application and has determined that the same meets all applicable LOS standards for an initial development order, as specified in the adopted CDMP for potable water supply, wastewater disposal, and flood protection. Therefore, the application has been approved for concurrency subject to the comments and conditions contained herein.

This concurrency approval does not constitute a final concurrency statement and is valid only for this initial development order, as provided for in the adopted methodology for concurrency review. Additionally, this approval does not constitute any assurance that the LOS standards would be met by any subsequent development order applications concerning the subject property.

This memorandum shall constitute written approval as required by Chapter 24 of the Code.

If you have any questions concerning the comments or wish to discuss this matter further, please contact Christine Velazquez at (305) 372-6764.

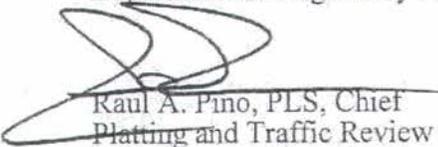
cc: Nathan Kogon, Department of Regulatory and Economic Resources

# Memorandum



**Date:** December 19, 2014

**To:** Eric Silva, Development Coordinator  
Department of Regulatory and Economic Resources

**From:**   
Raul A. Pino, PLS, Chief  
Platting and Traffic Review Section  
Department of Regulatory and Economic Resources

**Subject:** Z2014000048  
Name: Maria Fanti  
Location: 9001 SW 79 Court  
Section 27 Township 54 South Range 40 East

The Department of Regulatory and Economic Resources Platting and Traffic Review Section has reviewed the subject application and objects for the following reasons:

This Department objects to the request to permit the easterly lot to be accessed from SW 70<sup>th</sup> Street. Proposed driveway off of SW 70<sup>th</sup> Street will not comply with Standard Detail R12.1 of The Public Works Manual of Miami-Dade County. The applicant must provide an ingress/egress easement along the westerly lot to provide access to the easterly lot as previously discussed with applicant. Said easement is to be provided by plat.

This land requires platting in accordance with Chapter 28 of the Miami-Dade County Code. Any right-of-way dedications and/or improvements required will be accomplished thru the recording of a plat.

This application **does** meet the traffic concurrency criteria for an Initial Development Order. It will generate **2 PM** daily peak hour vehicle trips. The traffic distribution of these trips to the adjacent roadways reveals that the addition of these new trips **does not** exceed the acceptable level of service of the following roadways:

Sta.#		LOS present	LOS w/project
F-1068	SW 72 St. w/o Palmetto Expwy	C	C

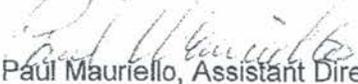
The request herein, constitutes an Initial Development Order only, and one or more traffic concurrency determinations will subsequently be required before development will be permitted.

# Memorandum



**Date:** May 21, 2014

**To:** Eric Silva, Assistant Director  
Regulatory and Economic Resources Department

**From:**   
Paul Mauriello, Assistant Director, Waste Operations  
Public Works and Waste Management Department

**Subject:** Maria Fanti (#14\_048)

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The Department's review of the above-referenced item is provided below. Additional comments will be provided as needed. If you should have any questions, please do not hesitate to contact Stacey McDuffie, Manager of the Fiscal Management and Planning Division, at 305-514-6661. **The PWWM has no objections to the proposed application.**

**Application:** *Maria Fanti* is requesting a use variance to divide a lot with two separate folio numbers in two halves and allow two separate residences. The property is currently zoned Estates, single family (EU-1).

**Size:** The subject property is 1.57 acres.

**Location:** The subject property is located at 7001 SW 79<sup>th</sup> Court, in Miami-Dade County, Florida.

## **Analysis:**

### 1. Solid Waste Disposal

The Miami-Dade County Solid Waste Management System consists of both County facilities and private facilities under contract as follows: three Class I landfills (two owned by Waste Management Inc., of Florida) a Class III landfill, a Resources Recovery Facility waste to energy plant and associated ash monofill, and three regional transfer facilities. The Public Works and Waste Management Department (PWWM) does not assess or adjust estimated capacity requirements based on the impacts of individual developments. Instead, the Department maintains sufficient disposal capacity to accommodate five years of waste flows committed to the system through long-term interlocal agreements or contracts with municipalities and private waste haulers and anticipated non-committed waste flows. The latest Concurrency Status Determination issued on September 25, 2013, which is valid for one year, shows sufficient disposal system capacity to exceed the County's adopted level of service (five years of capacity). This determination, which is on file with the Regulatory and Economic Resources Department (formerly the Department of Planning and Zoning) is contingent upon the continued ability of the County to obtain and renew disposal facility operating permits from the Florida Department of Environmental Protection, as needed.

### 2. Garbage and Trash Collection Services

Pursuant to Chapter 15 of the Miami-Dade County Code (Code), entitled Solid Waste Management the single family residences to be developed on the property will meet the County Code definition of residential units. As such, according to the Code, the residential units will

receive PWWM waste collection service. Twice weekly curbside waste collection, twice per year scheduled bulky waste collection service, and unlimited use of the 13 Trash and Recycling Centers are the services currently provided to residential units in the PWWM solid waste collection service area.

### 3. Recycling

The PWWM provides curbside recycling services to **residential units** located in unincorporated Miami-Dade County through a private contractor. The single stream recycling program currently includes separation of glass, aluminum cans, steel cans, plastic bottles, newspaper and phone books. Further information may be obtained by calling the Department's Public Information & Outreach Division at 305-594-1500 or 305-514-6714.

Applicants are *strongly* advised to incorporate adequate space in their building plans to accommodate the recycling program (i.e. somewhere for residents to store their recycling carts).

### 4. Waste Storage/Setout Considerations

**Section 15-4** of the Code requires that plans for storage and collection of solid waste be adequate before a building permit may be issued. Site plans must address location, accessibility, number and adequacy of solid waste collection and storage facilities. The site plan legend must contain the following statement: "Facilities for the collection and storage of solid waste are shown in accordance with Section 15-4 of the Miami-Dade County Code."

### 5. Site Circulation Considerations

It is required that development plans associated with this project incorporate at least one of the following traffic circulation criteria to minimize the reversing of waste vehicles and hence, provide for the safe circulation of service vehicles:

- a. Cul-de-sac with a minimum 49 foot turning radius (no "dead-ends")
- b. "T" shaped turnaround 60 feet long by 10 feet wide
- c. Paved throughway of adequate width (minimum 15 feet)

In addition, any and all alleyways designed with utilities, including waste collection, provided at the rear of the property should be planned in accordance with standard street specifications with sufficient width and turning radii to permit large vehicle access. Additionally, there should be no "dead-end" alleyways developed. Also, a sufficient waste set-out zone should be preserved (between the edge of the pavement and any possible obstructions such as parked cars, fencing, etc.,) that would interrupt or preclude waste collection.

# Memorandum



**Date:** March 23, 2015

**To:** Jack Osterholt, Deputy Mayor  
Director, Regulatory and Economic Resources Department

**From:** Maria I. Nardi, Chief *M.I.N.*  
Planning and Research Division  
Parks, Recreation and Open Spaces Department

**Subject:** Z2014000048: MARIA FANTI  
Revised Plans Submitted Dated Stamped Received 2/27/2015

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**Application Name:** MARIA FANTI

**Project Location:** The site is located at 9001 SW 79 CT, Miami-Dade County.

**Proposed Development:** The request is for a non-use variance(s) for a lot split.

**Impact and demand:** This application proposes a development of 2 residential dwelling units resulting in a de minimis impact to Level of Service. The site is located in Park Benefit District 2 which has a surplus of 504.72 acres of local parkland and therefore meets concurrency when analyzed in terms of (2.75) acres per 1,000 unincorporated areas residents within this Park Benefits District.

**Recommendation:** Based on our findings described herein **PROS HAS NO OBJECTION TO THIS APPLICATION**

If you need additional information or clarification on this matter, please contact John Bowers at (305) 755-5447.

MN:jb

Cc: John M. Bowers, Parks Property Management Supervisor

**Furney, Susan (RER)**

---

**From:** Castillo, Guillermo (MDFR)  
**Sent:** Thursday, March 19, 2015 3:19 PM  
**To:** Holness, Damon (RER)  
**Cc:** Furney, Susan (RER); Connally, Ronald (RER); Gutierrez, Franklin (RER); Heredia, Carlos (MDFR)  
**Subject:** Zoning Hearings Document Distribution (Case #Z2014000048)

The Miami-Dade Fire Rescue Department has reviewed the subject application and has the following comments:

- There has been no new site plan since 10/22/14 site plan that resulted in a no objection disposition

Thank you,

Guillermo E. Castillo, Principal Planner  
Planning Section  
Miami Dade Fire Rescue Department  
9300 NW 41 St., Miami - FL 33178  
786-331-4545 Direct Phone  
786-331-4540 Main Phone  
786-331-5259 Fax Number  
[Castilo@miamidade.gov](mailto:Castilo@miamidade.gov)  
[www.miamidade.gov](http://www.miamidade.gov)  
"Delivering Excellence Every Day"

DATE: 28-OCT-14  
REVISION 1

BUILDING AND NEIGHBORHOOD  
COMPLIANCE DEPARTMENT

ENFORCEMENT HISTORY OF VIOLATIONS OF CHAPTER 19 AND  
CHAPTER 33 OF THE MIAMI-DADE COUNTY CODE

MARIA FANTI

7001 SW SW 79 CT, MIAMI-DADE  
COUNTY, FLORIDA.

---

APPLICANT

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ADDRESS

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Z2014000048

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HEARING NUMBER

**HISTORY:**

ENFORCEMENT HISTORY: NC: No open cases. BNC; No bss cases open/closed

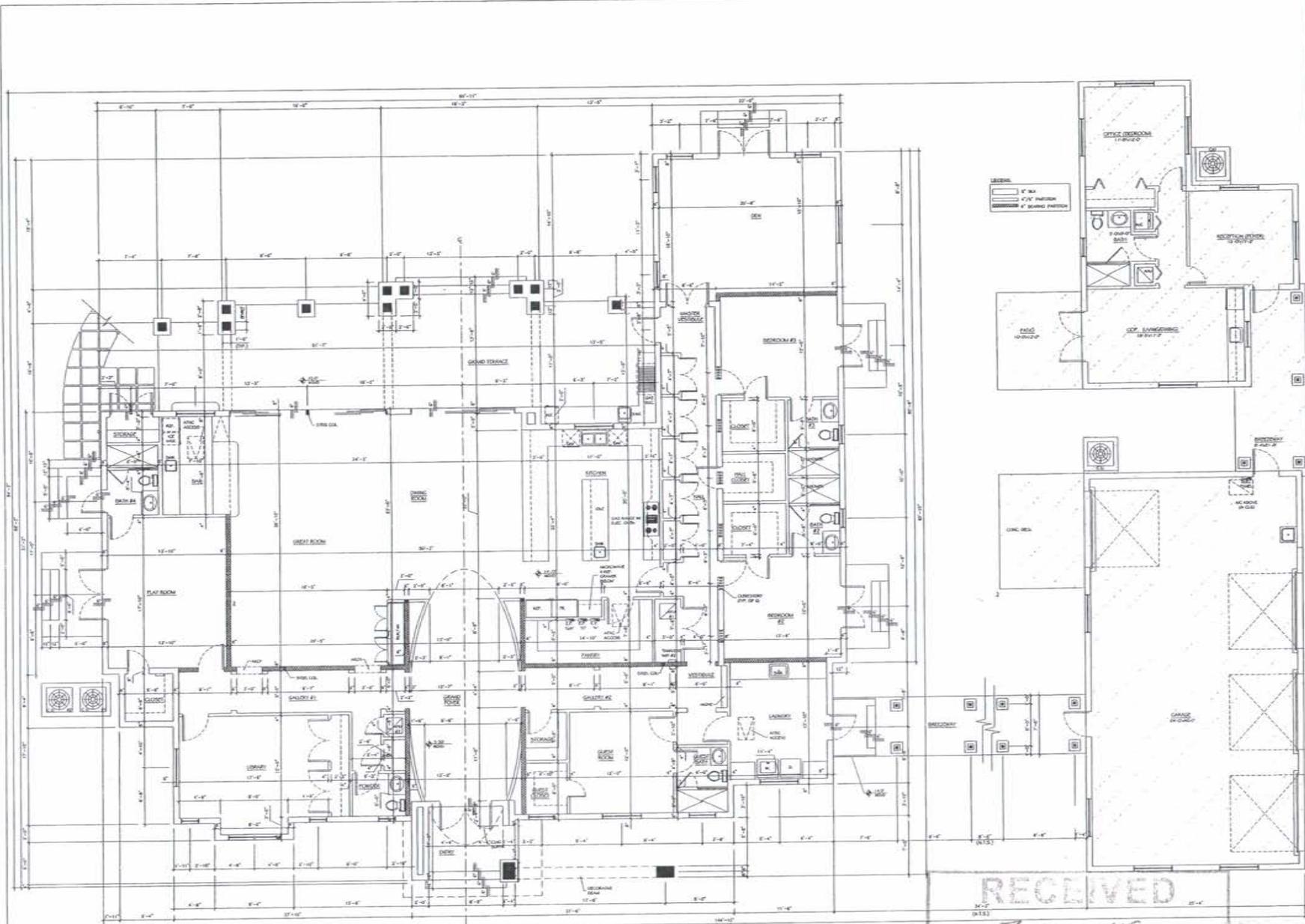
Maria Fanti

**OUTSTANDING FINES, PENALTIES, COST OR LIENS  
INCURRED PURSUANT TO CHAPTER 8CC:**

**REPORTER NAME:**







FLOOR PLAN (PHASE 2)

ESC. 3/4"=1'-0"

RECEIVED

2.14-046  
FEB 27 2015



**RICHARD CORTES**  
 ARCHITECT  
 AIA #044238  
 7700 SW 116 ST  
 PINECREST, FL 33156  
 PH: 305 253-8804  
 FAX: 305 253-8804  
 rcc@rcga.com



NEW RESIDENCE FOR:  
 MR. & MRS. DONER GARCIA  
 7001 SW 79TH COURT  
 MIAMI, FL. 33143

SHEET NAME  
 FLOOR PLAN

1	1-27-15
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DATE:  
2/17/15  
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C.C.

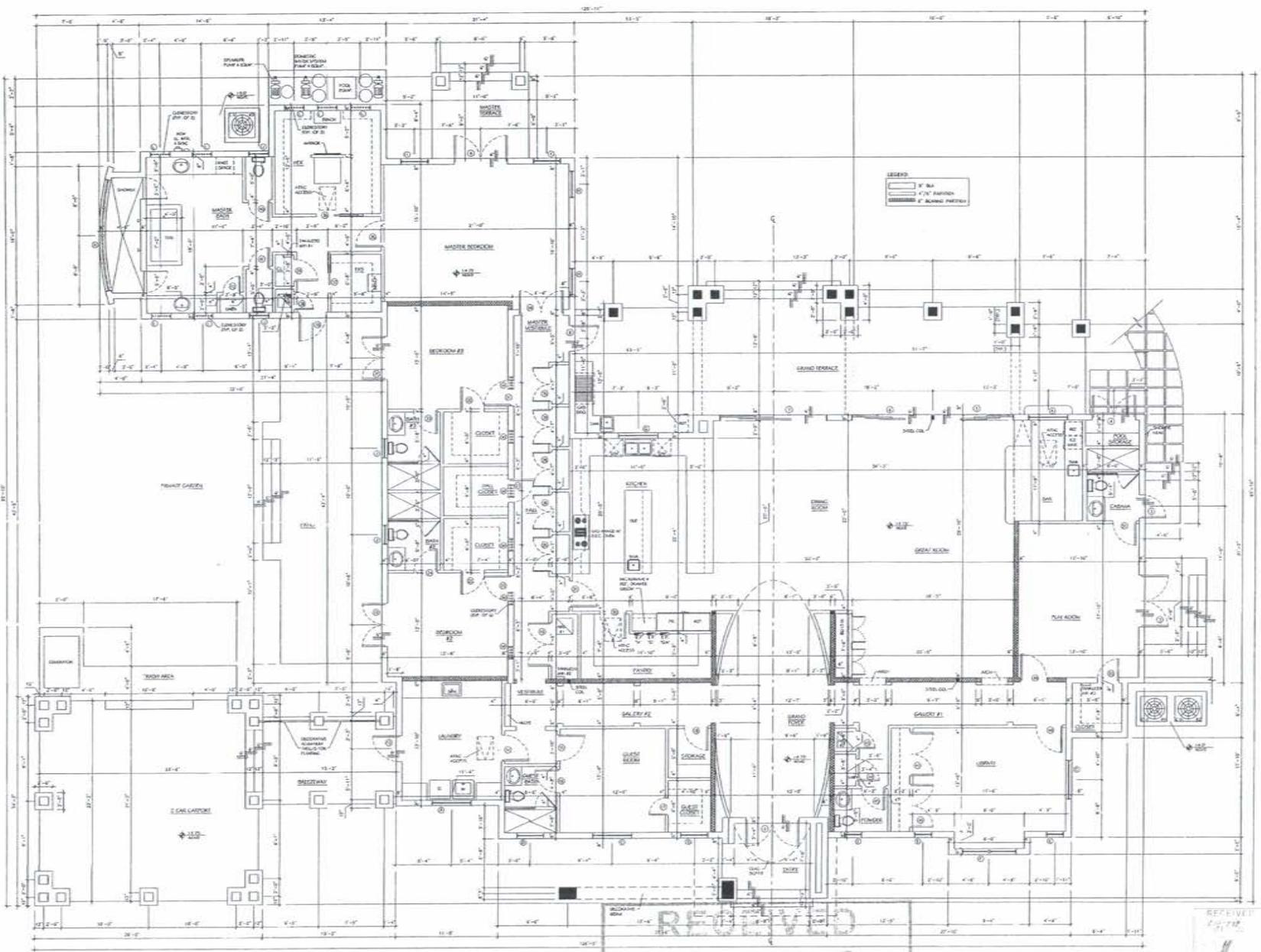
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1/4"=1'-0"



A-1.2

SHEET No.

DEPARTMENT OF REGISTRY AND ECONOMIC  
 RESOURCES MANAGEMENT SERVICES  
 By



**RICHARD CORTES**  
 ARCHITECT  
 7700 SW 118 ST  
 FOREST, FL 33066  
 PH: 305 533-7868  
 FAX: 305 533-4558  
 rcortesa@aol.com



NEW RESIDENCE FOR:  
 MR. & MRS. DONER GARCIA  
 7001 SW 79th COURT  
 MIAMI, FL. 33143

SHEET NAME  
**FLOOR PLAN**

NO.	REVISION
1	1-8-14
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DATE: 02/24/14  
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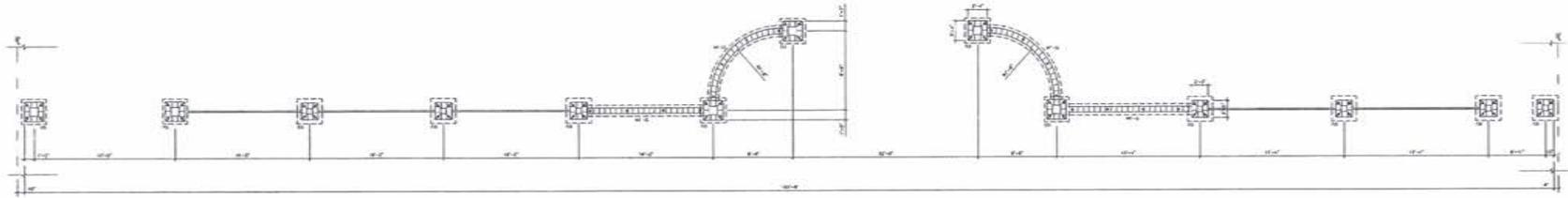
**A-2**  
 SHEET No.

**RECEIVED**  
 14-048  
 FEB 27 2015  
 MIAMI COUNTY  
 OFFICE OF PLANNING AND ECONOMIC  
 DEVELOPMENT SERVICES

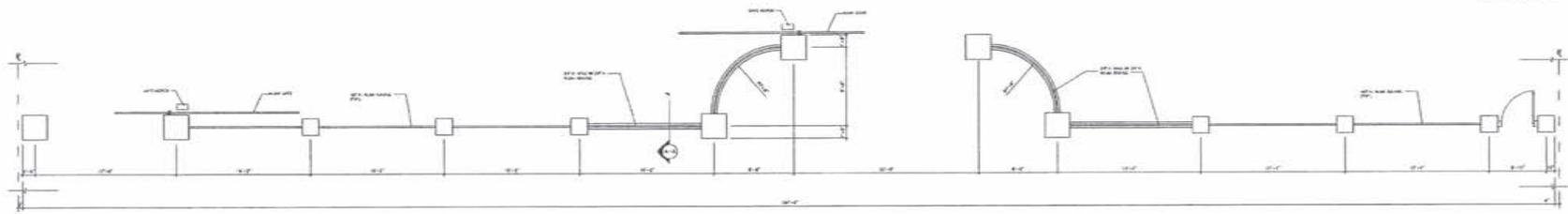
FLOOR PLAN  
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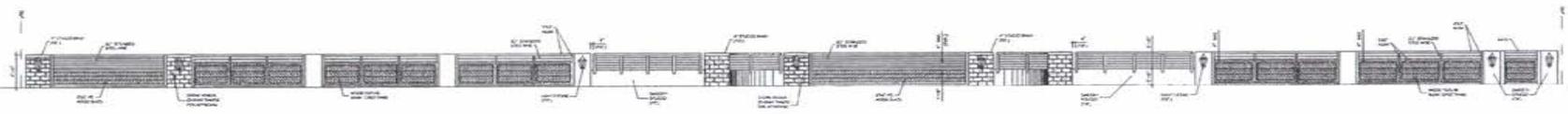




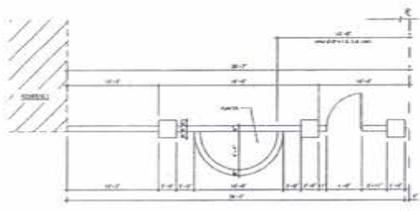
FRONT FENCE FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



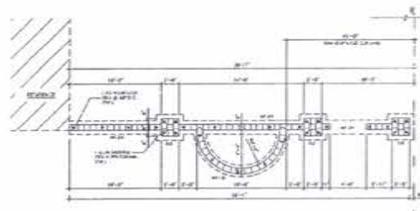
FRONT FENCE FLOOR PLAN  
SCALE: 1/4" = 1'-0"



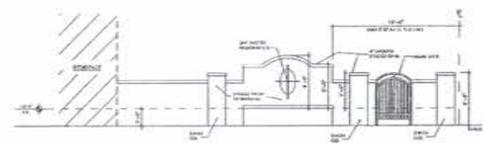
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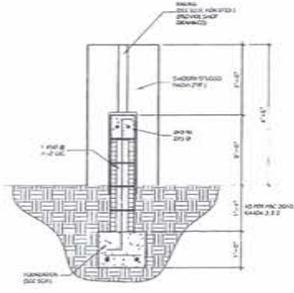
INTERIOR FENCE FLOOR PLAN  
SCALE: 1/4" = 1'-0"



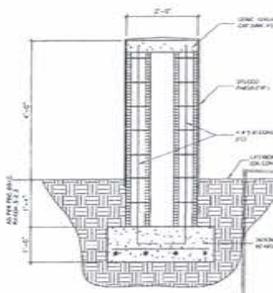
INTERIOR FENCE FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



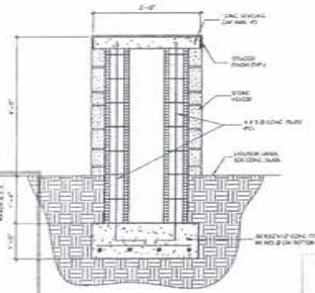
INTERIOR FENCE FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



SECTION A-A  
SCALE: 3/4" = 1'-0"



24X24 COLUMN SECTION  
SCALE: 3/4" = 1'-0"



36X36 COLUMN SECTION  
SCALE: 3/4" = 1'-0"

**RECEIVED**  
*Z14-048*  
**OCT 22 2014**  
 MIAMI-DADE COUNTY  
 DEPARTMENT OF PLANNING AND ECONOMIC  
 DEVELOPMENT SERVICES  
 By: \_\_\_\_\_



**RICHARD CORTES**  
 ARCHITECT  
 ARJ 0014238  
 7700 SW 115 ST  
 PINECREST, FL 33154  
 PH: 305 223-8838  
 FAX: 305 223-4858  
 rcortesa@aol.com



NEW RESIDENCE FOR:  
**MR. & MRS. DONER GARCIA**  
 7001 SW 79th COURT  
 MIAMI, FL. 33143

SHEET NAME

FENCE

NO.	REVISION
1	2-8-14

DATE: 02/24/14

DRAWN BY: PMP

SCALE: 1/4" = 1'-0"



**A-4**

SHEET No.

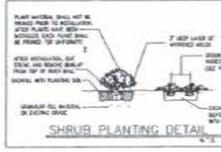
23

- PLANTING NOTES:**
1. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE CLASSIFIED AS SET OUT BY THE COUNCIL OF AGRICULTURE, GARDENS AND LANDSCAPE ARCHITECTS (CGLA) AND SHALL BE SUPPLIED TO THE SITE IN ACCORDANCE WITH THE CGLA SPECIFICATIONS FOR PLANTING PART 1 OF A CONTRACT DRAWING.
  2. ALL PLANT MATERIAL MUST BE SET OUT AND PLANTED IN ACCORDANCE WITH THE CGLA SPECIFICATIONS FOR PLANTING PART 1 OF A CONTRACT DRAWING.
  3. QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CGLA SPECIFICATIONS FOR PLANTING PART 1 OF A CONTRACT DRAWING.
  4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
  5. TREES AND PLANTS SHALL BE PLANTED SO THAT HEADS WILL BE LEVEL WITH THE SURFACE OF THE FINISHED GRADE.
  6. PLANTING SHALL BE AT LEAST ONE METRE FROM CURBS AND ONE METRE FROM BUILDINGS UNLESS OTHERWISE SPECIFIED.
  7. ALL PLANT MATERIAL SHALL BE WATERED BY SURROUND UP AT THE TIME OF PLANTING.
  8. A PERMIT FOR TREES AND SHRUBS SHALL BE A GENERAL PERMIT FOR TREES AND SHRUBS (GPT) ISSUED BY THE CITY OF MIAMI. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THIS PERMIT.
  9. ALL TREES AND PLANTS TO BE REMOVED SHALL BE SHOWN IN A SEPARATE SCHEDULE.
  10. ALL PLANTING MUST BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
  11. SOIL SHALL BE AT LEAST 100MM BELOW FINISHED GRADE AND SHALL BE ENRICHED WITH COMPOST TO A DEPTH OF 100MM.
  12. ANY EXISTING TREES, SHRUBS OR PLANTS REMAINING FROM PREVIOUS DEVELOPMENT SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD.
  13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
  14. ALL LANDSCAPED AREAS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
  15. THE CONTRACTOR SHALL PROVIDE A WATER SCHEDULE TO THE OWNER FOR ALL PLANT MATERIALS AND MAINTENANCE FOR A PERIOD OF NOT LESS THAN NINETY (90) DAYS FROM THE TIME OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
  16. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
  17. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
  18. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
  19. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
  20. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.

TREE SCHEDULE				
#	TYPE	REMARKS	QUANTITY	APPROX. COST
1	1.00	1.00	1.00	1.00
2	2.00	2.00	2.00	2.00
3	3.00	3.00	3.00	3.00
4	4.00	4.00	4.00	4.00
5	5.00	5.00	5.00	5.00
6	6.00	6.00	6.00	6.00
7	7.00	7.00	7.00	7.00
8	8.00	8.00	8.00	8.00
9	9.00	9.00	9.00	9.00
10	10.00	10.00	10.00	10.00
11	11.00	11.00	11.00	11.00
12	12.00	12.00	12.00	12.00
13	13.00	13.00	13.00	13.00
14	14.00	14.00	14.00	14.00
15	15.00	15.00	15.00	15.00
16	16.00	16.00	16.00	16.00
17	17.00	17.00	17.00	17.00
18	18.00	18.00	18.00	18.00
19	19.00	19.00	19.00	19.00
20	20.00	20.00	20.00	20.00

TREE SCHEDULE				
#	TYPE	REMARKS	QUANTITY	APPROX. COST
21	21.00	21.00	21.00	21.00
22	22.00	22.00	22.00	22.00
23	23.00	23.00	23.00	23.00
24	24.00	24.00	24.00	24.00
25	25.00	25.00	25.00	25.00
26	26.00	26.00	26.00	26.00
27	27.00	27.00	27.00	27.00
28	28.00	28.00	28.00	28.00
29	29.00	29.00	29.00	29.00
30	30.00	30.00	30.00	30.00

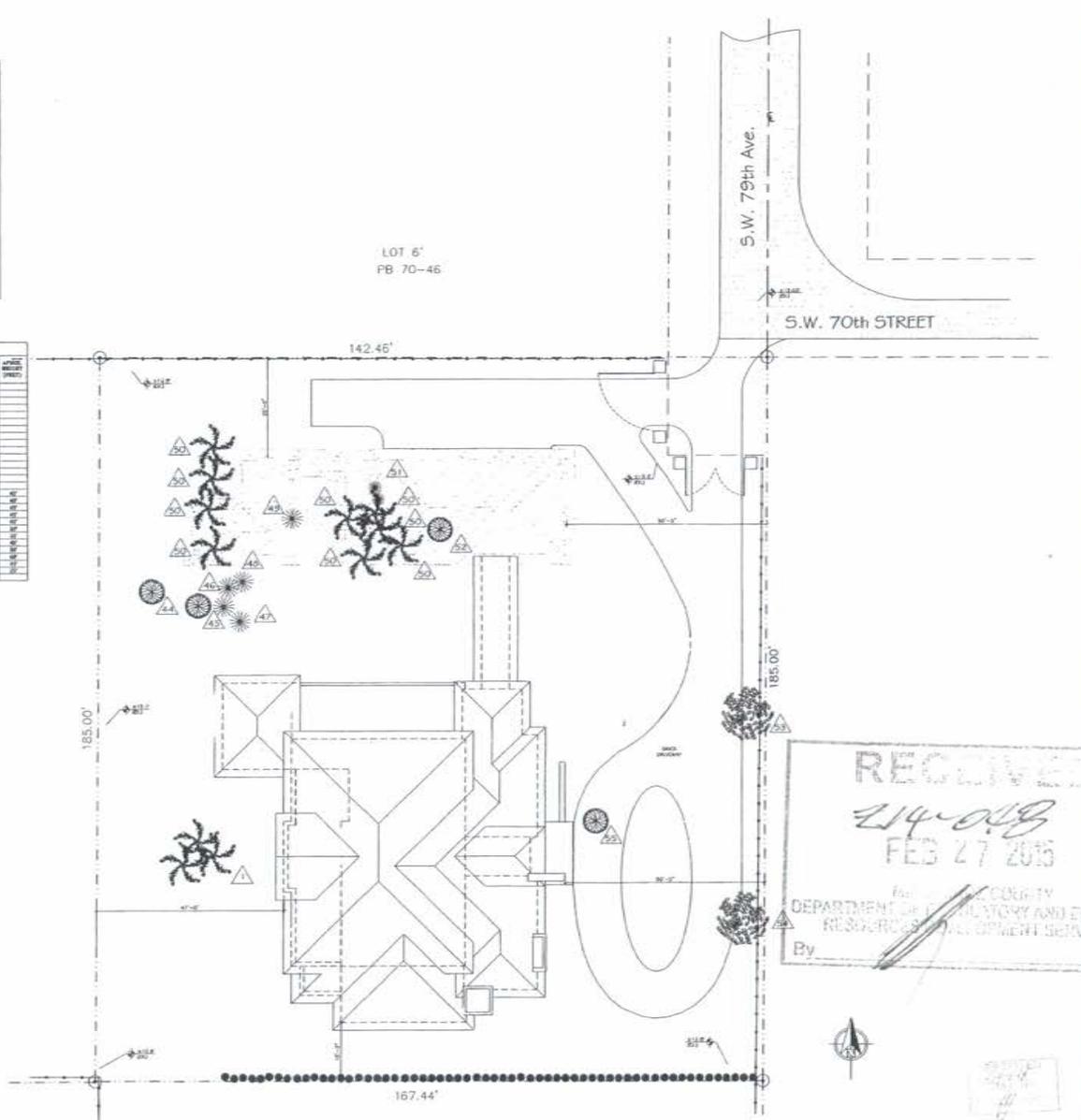
SHRUB SCHEDULE				
#	TYPE	REMARKS	QUANTITY	APPROX. COST
1	1.00	1.00	1.00	1.00
2	2.00	2.00	2.00	2.00
3	3.00	3.00	3.00	3.00
4	4.00	4.00	4.00	4.00
5	5.00	5.00	5.00	5.00
6	6.00	6.00	6.00	6.00
7	7.00	7.00	7.00	7.00
8	8.00	8.00	8.00	8.00
9	9.00	9.00	9.00	9.00
10	10.00	10.00	10.00	10.00
11	11.00	11.00	11.00	11.00
12	12.00	12.00	12.00	12.00
13	13.00	13.00	13.00	13.00
14	14.00	14.00	14.00	14.00
15	15.00	15.00	15.00	15.00
16	16.00	16.00	16.00	16.00
17	17.00	17.00	17.00	17.00
18	18.00	18.00	18.00	18.00
19	19.00	19.00	19.00	19.00
20	20.00	20.00	20.00	20.00



LANDSCAPE LEGEND	
1	1.00
2	2.00
3	3.00
4	4.00
5	5.00
6	6.00
7	7.00
8	8.00
9	9.00
10	10.00
11	11.00
12	12.00
13	13.00
14	14.00
15	15.00
16	16.00
17	17.00
18	18.00
19	19.00
20	20.00

**LANDSCAPE NOTES:**

1. LANDSCAPE SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
2. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
3. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
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5. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
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16. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
17. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
18. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
19. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.
20. ALL PLANTING SHALL BE SET OUT AND PLANTED WITHIN THE SPECIFIED PERIODS.



**LANDSCAPING PLAN (PHASE 2)**

SCALE: 1/8" = 1'-0"

**RECEIVED**  
 2/14/15  
 FEB 27 2015  
 MIAMI COUNTY  
 DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT  
 By \_\_\_\_\_

**RICHARD CORTES ARCHITECTS**  
 7700 SW 115 ST  
 PINECREST, FL 33186  
 PH: 305 233-8888  
 FAX: 305 233-8830  
 rortega@aol.com

**MR. & MRS. DONER GARCIA**  
 7001 SW 79TH COURT  
 MIAMI, FL 33143

**NEW RESIDENCE FOR:**

**SHEET NAME:** LANDSCAPING PLAN

**DATE:** 2/17/15

**DRAWN BY:** C.C.

**SCALE:** 3/32" = 1'-0"

**SHEET No.:** L-1.2



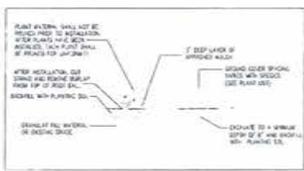
- ELECTRICAL NOTES:**
1. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE SUBJECT TO INSPECTION BY THE CITY OF MIAMI DEPARTMENT OF MEDICAL, GRASS AND STANDARDS FOR NURSERY PLANTS PART 1 OF 1 (LATEST EDITION).
  2. ALL PLANT MATERIAL MUST MEET OR EXCEED THE MINIMUM SIZE REQUIREMENT AS SPECIFIED BY THE PLANT LIST.
  3. QUANTITIES INDICATED ON THE PLANT LIST ARE FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING QUANTITIES WITH A LANDSCAPE DESIGNER. THE PLANTING PLAN TAKES PRECEDENCE OVER THE PLANT LIST.
  4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
  5. TREES AND PALMS SHALL BE PLANTED SO THAT BRANCHES WILL BE CLEAR OF ALL STRUCTURES AT ALL TIMES.
  6. PLANTING SOIL SHALL BE AT LEAST 30% HOOK OR COMPOST AND 70% SAND. TOPSOIL TO BE 5% IN A CLEAN, UNOILY AND FERTILE CONDITION AND HAVING GOOD DRAINAGE CHARACTERISTICS.
  7. ALL PLANT MATERIAL SHALL BE WATERED THOROUGHLY AT THE TIME OF PLANTING.
  8. FERTILIZER FOR TREES AND SHRUBS SHALL BE A GENERAL PURPOSE SOLUBLE FERTILIZER (16-16-16) CONTAINING TRACE ELEMENTS. FERTILIZER FOR PALMS SHALL BE A SPECIAL PALM FERTI WHICH INCLUDES VITAMINES AND AMMONIUM SULFATE.
  9. ALL TREES AND PALMS TO BE SHIPPED AND CURED AS SHOWN IN PLANTING DETAILS.
  10. ALL PLANTING BEDS AND TREE TALLERS SHALL BE MAINTAINED WITH A FINISHED SURFACE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  11. ALL EXCESS SOIL, STONES OR DEBRIS INCLUDING LANDSCAPE MATERIALS SHALL BE REMOVED PROPERLY, RECYCLED OR RE-USE AS SOON AS POSSIBLE.
  12. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING ANY DAMAGE.
  13. ALL LANDSCAPING AREAS SHALL RECEIVE ONE (1) INCH OF WATER PER WEEK THROUGHOUT THE LIFE OF THE PROJECT. WHEN AN IRRIGATION SYSTEM IS INSTALLED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL NECESSARY ADJUSTMENTS WITH THE IRRIGATION CONTRACTOR OR PROPERTY MAINTENANCE PERSONNEL.
  14. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE TO THE OWNER FOR ALL PLANT MATERIALS AND WORKMANSHIP FOR A PERIOD OF NOT LESS THAN NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. AS THE SOLE OF THE GUARANTEE PERIOD, REPLANT AND PALMS, WHICH HAVE BEEN REPLANTED AS PART OF THE SAME PROJECT AND THIS PROJECT, INCLUDING COST TO THE OWNER REPAIRING PLANTS THAT WERE PROPERLY MAINTAINED BY THE OWNER AFTER FINAL ACCEPTANCE AND PLANT MATERIALS DAMAGED BY STORMS, HURRICANE FORCE, DAMAGE OR OTHER ACTS OF GOD ARE NOT INCLUDED IN THIS WORKMANSHIP GUARANTEE.

**TREE SCHEDULE**

SP.	TYPE	REMARKS	TREE QUANTITY (TREES)	CONTRY QUANTITY (TREES)	APPROX. HEIGHT (FEET)
1	FRUIT TREE	30' PALM	10	10	30'
2	FRUIT TREE	30' PALM	10	10	30'
3	FRUIT TREE	30' PALM	10	10	30'
4	FRUIT TREE	30' PALM	10	10	30'
5	FRUIT TREE	30' PALM	10	10	30'
6	FRUIT TREE	30' PALM	10	10	30'
7	FRUIT TREE	30' PALM	10	10	30'
8	FRUIT TREE	30' PALM	10	10	30'
9	FRUIT TREE	30' PALM	10	10	30'
10	FRUIT TREE	30' PALM	10	10	30'
11	FRUIT TREE	30' PALM	10	10	30'
12	FRUIT TREE	30' PALM	10	10	30'
13	FRUIT TREE	30' PALM	10	10	30'
14	FRUIT TREE	30' PALM	10	10	30'
15	FRUIT TREE	30' PALM	10	10	30'
16	FRUIT TREE	30' PALM	10	10	30'
17	FRUIT TREE	30' PALM	10	10	30'
18	FRUIT TREE	30' PALM	10	10	30'
19	FRUIT TREE	30' PALM	10	10	30'
20	FRUIT TREE	30' PALM	10	10	30'
21	FRUIT TREE	30' PALM	10	10	30'
22	FRUIT TREE	30' PALM	10	10	30'
23	FRUIT TREE	30' PALM	10	10	30'
24	FRUIT TREE	30' PALM	10	10	30'
25	FRUIT TREE	30' PALM	10	10	30'
26	FRUIT TREE	30' PALM	10	10	30'

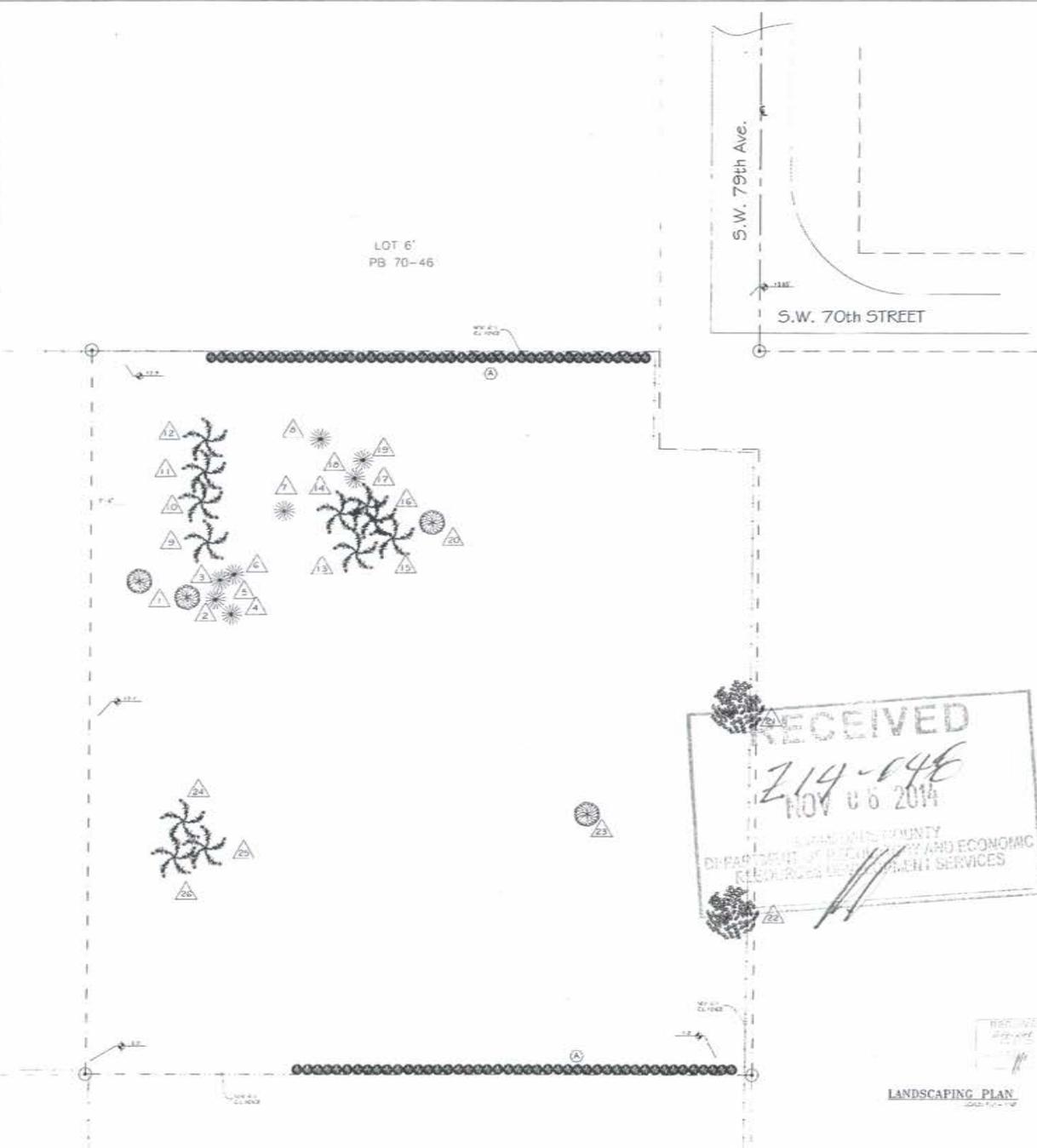
**IRRIGATION SCHEDULE**

NAME	TYPE	DIAMETER	DEPTH	QUANTITY	REMARKS
1	PIPE	2"	12'	50'	8' F. 2" DIA. W/ 1/2"



- LANDSCAPE NOTES:**
1. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  2. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  3. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  4. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  5. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  6. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  7. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  8. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  9. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  10. ALL PLANTING BEDS SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

- LANDSCAPE NOTES:**
1. LANDSCAPING ALL WORK TO BE DONE WITHIN THE PROJECT BOUNDARIES.
  2. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  3. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  4. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  5. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  6. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  7. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  8. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  9. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
  10. LANDSCAPING SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.



**RECEIVED**  
 214-046  
 NOV 06 2014  
 MIAMI DADE COUNTY  
 DEPARTMENT OF PLANNING AND ECONOMIC  
 DEVELOPMENT SERVICES

LANDSCAPING PLAN  
 2014-10-10

**RICHARD CORTES**  
 ARCHITECT  
 7760 SW 115 ST  
 PENSACOLA, FL 32516  
 PH: 305 253-8848  
 FAX: 305 253-8848  
 rcortega@aol.com

**RICHARD CORTES**  
 ARCHITECT  
 79XX SW 70th Street  
 MIAMI, FL 33143

NEW RESIDENCE FOR:  
**MR. & MRS. DONER GARCIA**  
 79XX SW 70th Street  
 MIAMI, FL 33143

SHEET NAME  
**LANDSCAPING PLAN**

DATE: 05/06/14  
 DRAWN BY: PMP  
 SCALE: 1" = 10'-0"

**L-1**  
 SHEET No.



**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2014000048**



Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

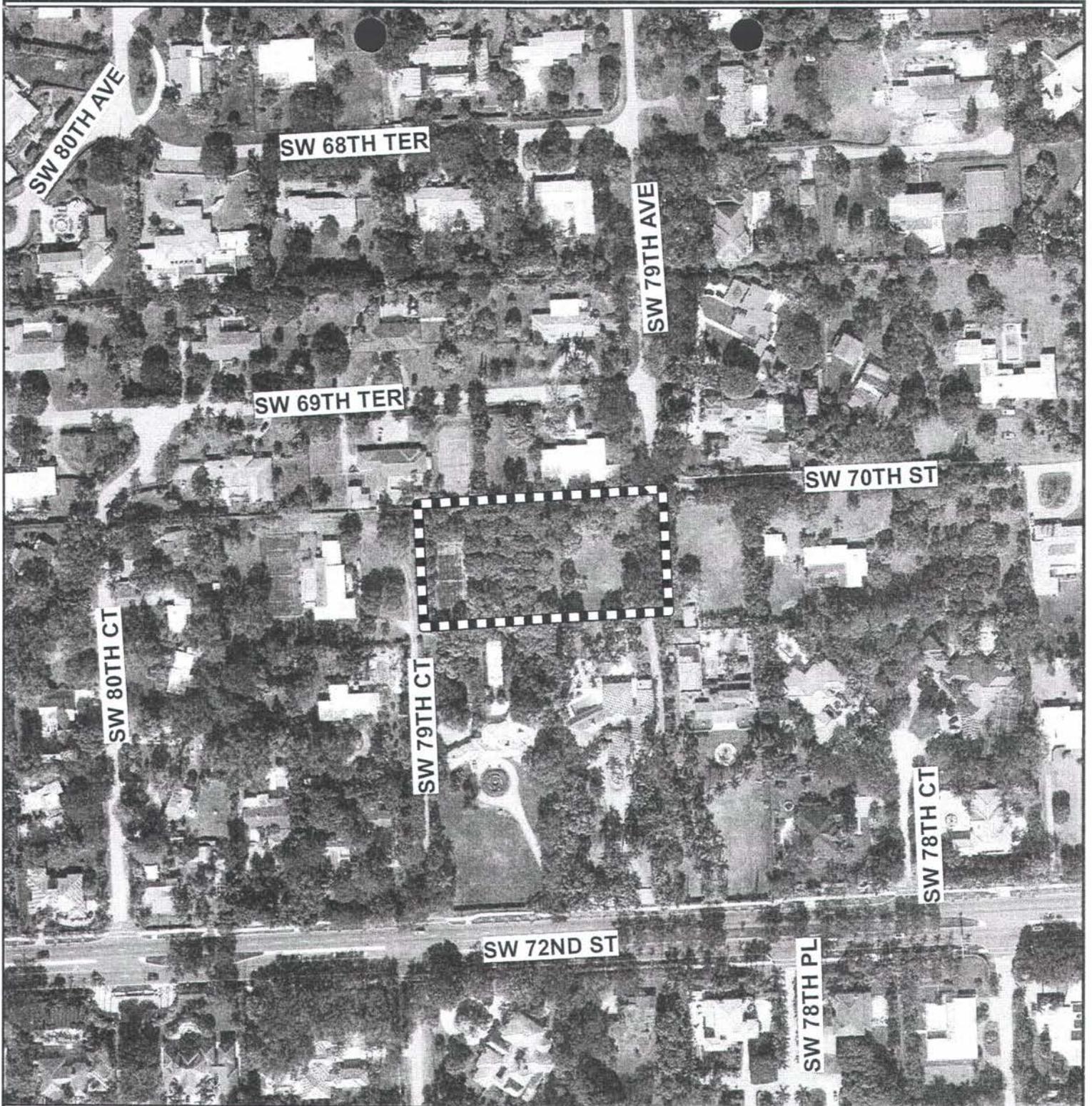
**Legend**

 Subject Property Case



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		26



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2013**

Process Number

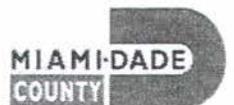
**Z2014000048**

Legend

 Subject Property

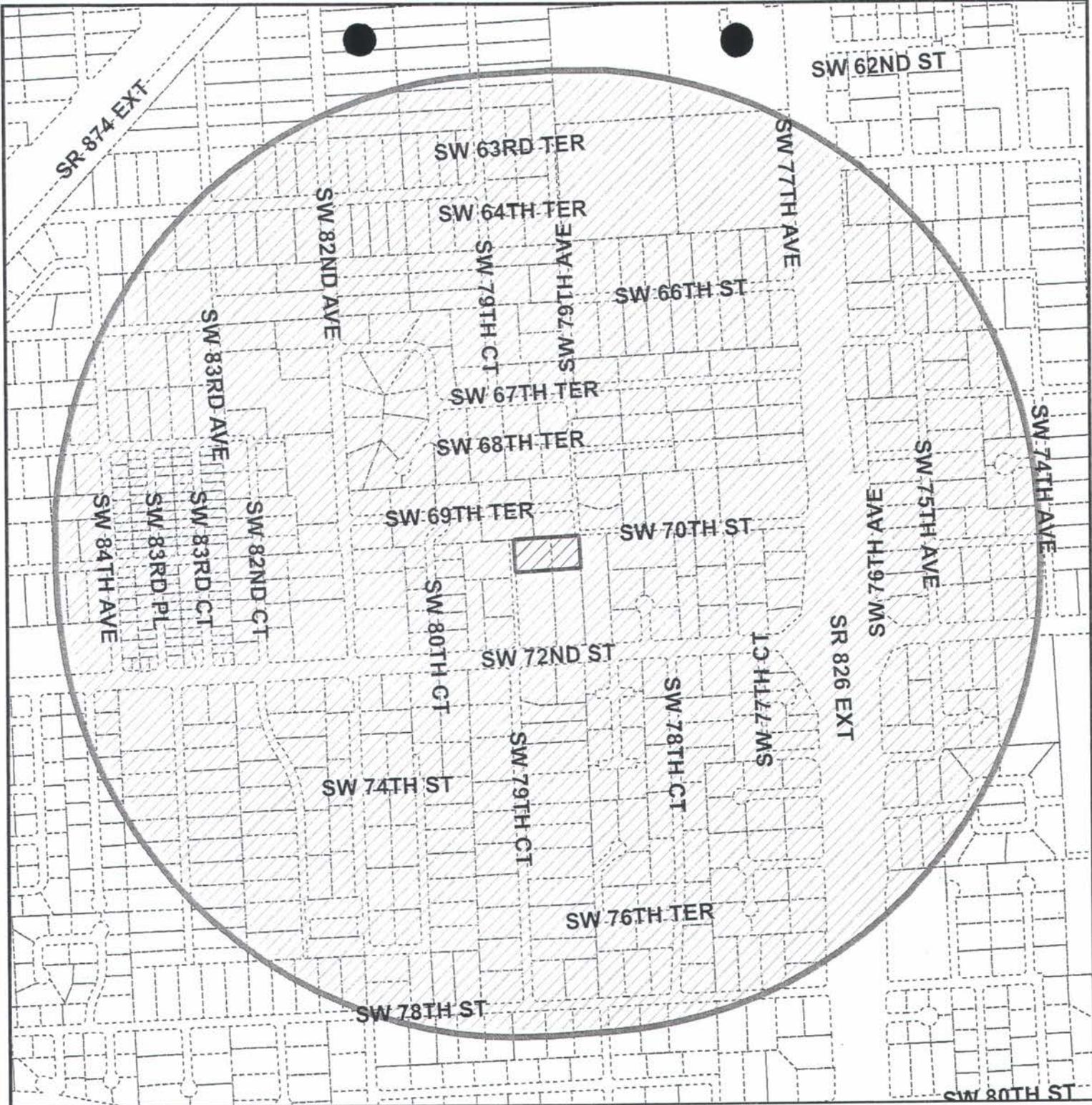


Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		27



**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

Process Number  
**Z2014000048**  
 RADIUS: 2640

**Legend**

-  Subject Property
-  Buffer
-  Street (Centerline)
-  Property Boundaries



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY
		28



**MIAMI-DADE COUNTY**  
**CDMP MAP**

Process Number  
**Z2014000048**



Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY



PHOTOGRAPH OF SIGN POSTED FOR ZONING HEARING



HEARING NUMBER: Z2014000048

BOARD: C12

LOCATION OF SIGN: LYING APPROXIMATELY 141' SOUTH OF SW 69 TERRACE,  
BETWEEN THEORETICALLY SW 79 AVENUE & SW 79  
COURT, AKA 7001 SW SW 79 CT, MIAMI-DADE COUNTY,  
FLORIDA.

Miami Dade County, Florida

Date of Posting: 18-MAY-15

*This is to certify that the above photograph is true and correct and that the sign concerning a Zoning Hearing application was posted as indicated above.*

SIGNATURE: 

PRINT NAME: CLEVELAND THOMPSON

HEARING NO. 15-6-CZ12-1 (14-48)

27-54-40  
Council Area 12  
Comm. Dist. 7

APPLICANT: MARIA FANTI

REQUESTS #1 THRU #3 ON PARCEL "A"

- (1) NON-USE VARIANCE to permit proposed Parcel "A" with a lot area of 30,359 sq. ft. (43,560 sq. ft. required), a frontage of 50' (125' minimum required) and a lot depth of 160' (200' minimum required).
- (2) NON-USE VARIANCE to permit a lot coverage of 26% (20% maximum permitted).
- (3) NON-USE VARIANCE to permit the proposed building to setback 25' (50' required) from the front (east) property line and setback 23'-25" (25' required) from the rear (west) property line.

REQUESTS #4 AND #5 ON PARCEL "B"

- (4) NON-USE VARIANCE to permit proposed Parcel "B" with a lot area of 37,455 sq. ft. (43,560 sq. ft. required).
- (5) NON-USE VARIANCE to permit a lot coverage of 22.17% (20% maximum permitted).

Plans are on file and may be examined in the Department of Regulatory and Economic Resources entitled "New Residence for Mr. & Mrs. Doner Garcia" as prepared by Richard Cortes Architect, Sheets A-1, A-2, A-3 & A-4 dated stamped received 10/22/14, Sheets, SP-1.2, A-1.2, A-2.1 & L-1.2 dated stamped received 2/27/15 and the remaining 2 sheets dated stamped received 11/6/14 for a total of 10 sheets. Plans may be modified at public hearing.

LOCATION: Lying approximately 141' South of the SW 69 Terrace, between theoretical SW 79<sup>th</sup> Avenue & SW 79 Court, A/K/A 7001 SW 79<sup>th</sup> Court, MIAMI-DADE COUNTY, FLORIDA.

SIZE OF PROPERTY: 1.5 Acre

PRESENT ZONING: EU-1 (Estates 1 Family 1 Acre Gross)



**MIAMI-DADE COUNTY**  
**HEARING MAP**

Process Number  
**Z2014000048**

Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

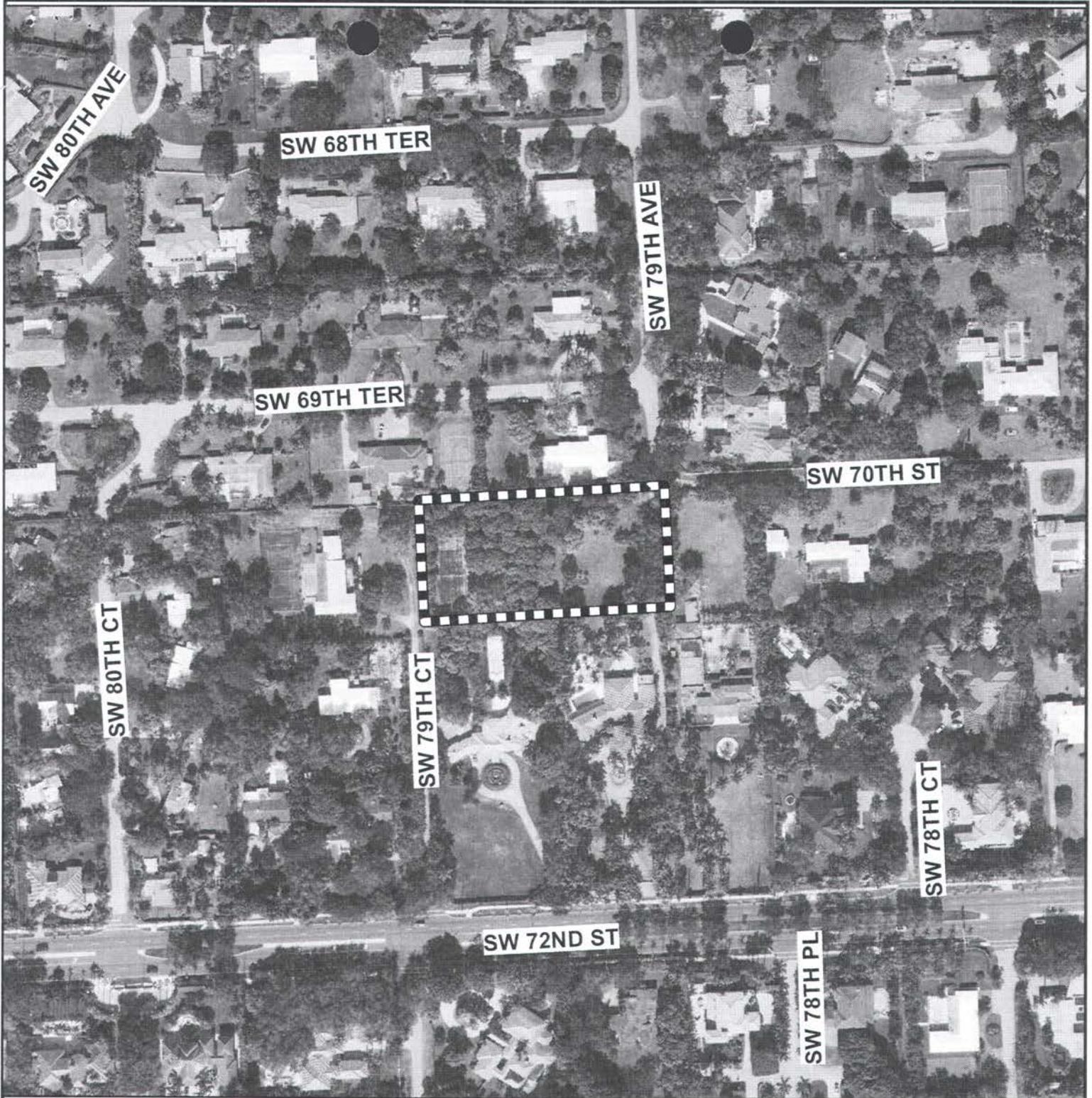
**Legend**

 Subject Property Case



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**AERIAL YEAR 2013**

Process Number

**Z2014000048**

Legend

 Subject Property

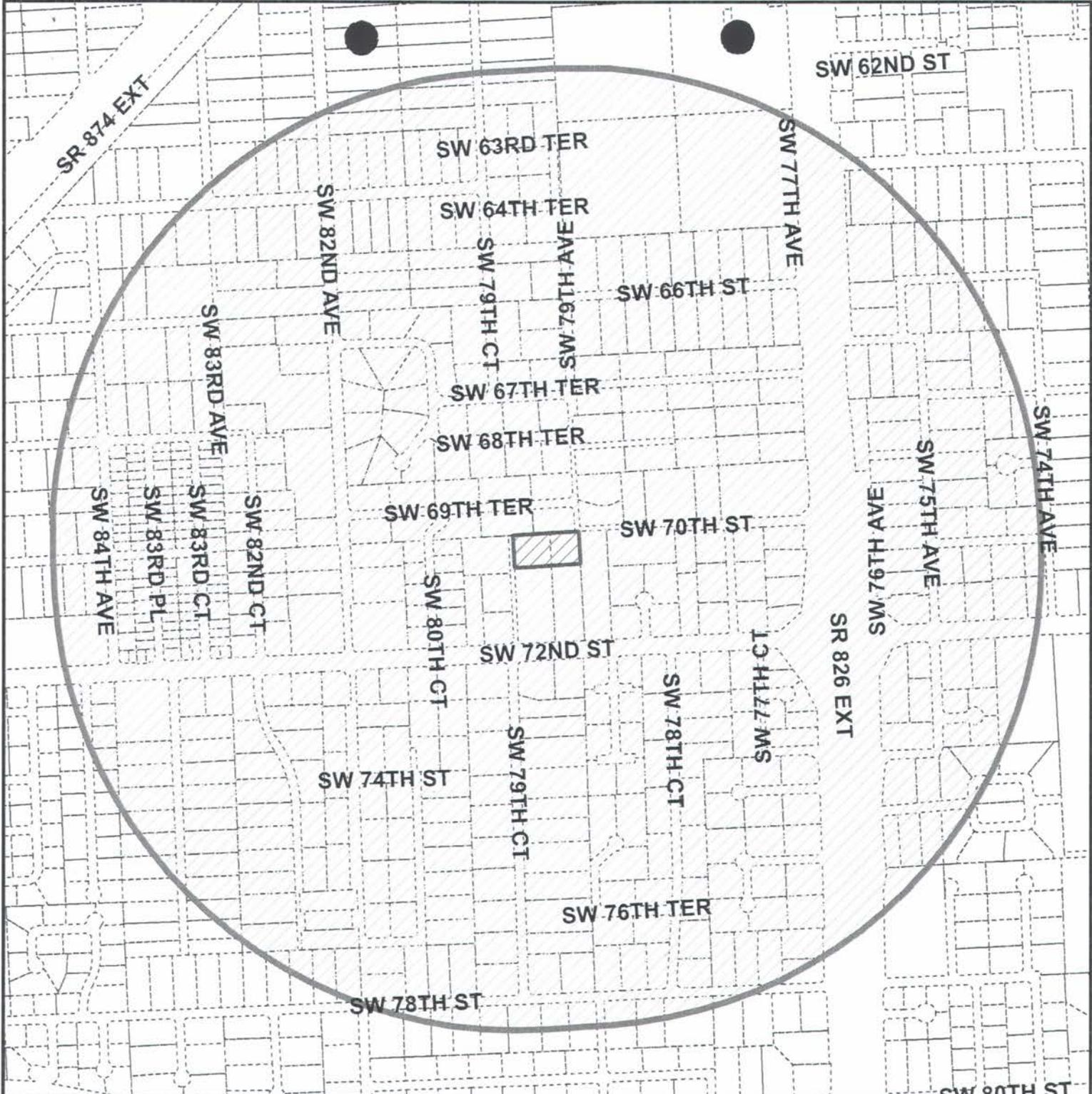


Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**RADIUS MAP**

Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

Process Number  
**Z2014000048**  
 RADIUS: 2640

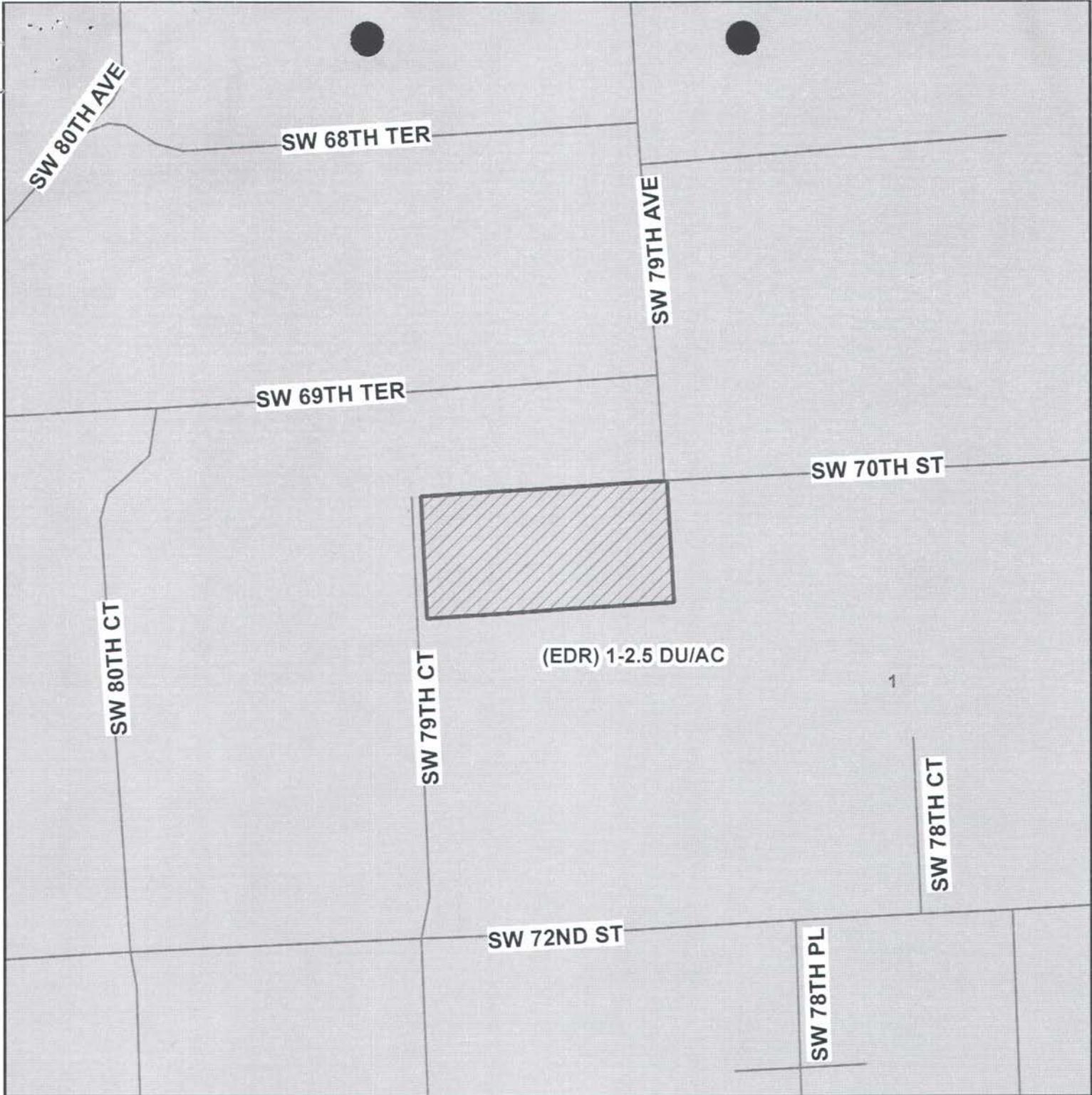
**Legend**

-  Subject Property
-  Buffer
-  Street (Centerline)
-  Property Boundaries



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY



**MIAMI-DADE COUNTY**  
**CDMP MAP**

Process Number  
**Z2014000048**



Section: 27 Township: 54 Range: 40  
 Applicant: MARIA FANTI  
 Zoning Board: C12  
 Commission District: 7  
 Drafter ID: JEFFER GURDIAN  
 Scale: NTS

**Legend**

-  Subject Property Case
-  Zoning



SKETCH CREATED ON: Monday, June 9, 2014

REVISION	DATE	BY



**MIAMI DADE POLICE DEPARTMENT**  
**57B - Summarized CFS Year Comparison By Call Type-Grid-Signal**  
**Z2014000048 Maria Fanti**  
**Complaint Date Range: Jan 1, 2013 - Dec 31, 2013**



**EMERGENCY**

Grid Code	CAD Signal Code	YTD 2013	LYTD 2012	P_LYTD 2011
<b>1713</b>	15 MEET AN OFFICER	0	0	1
	17 TRAFFIC ACCIDENT	1	1	0
	41 SICK OR INJURED PERSON	13	20	17
	44 ATTEMPTED SUICIDE	0	1	0
	49 FIRE	1	1	0
<b>TOTAL FOR GRID 1713</b>		<b>15</b>	<b>23</b>	<b>18</b>
<b>1714</b>	15 MEET AN OFFICER	2	0	1
	17 TRAFFIC ACCIDENT	5	10	15
	18 HIT AND RUN	0	2	1
	41 SICK OR INJURED PERSON	14	10	29
	44 ATTEMPTED SUICIDE	0	0	1
	49 FIRE	3	2	1
<b>TOTAL FOR GRID 1714</b>		<b>24</b>	<b>24</b>	<b>48</b>
<b>1754</b>	14 CONDUCT INVESTIGATION	0	1	0
	15 MEET AN OFFICER	0	2	1
	17 TRAFFIC ACCIDENT	5	4	13
	18 HIT AND RUN	0	0	2
	32 ASSAULT	1	1	0
	41 SICK OR INJURED PERSON	10	20	23
<b>TOTAL FOR GRID 1754</b>		<b>16</b>	<b>28</b>	<b>39</b>
<b>1755</b>	15 MEET AN OFFICER	0	1	0
	17 TRAFFIC ACCIDENT	2	5	9
	41 SICK OR INJURED PERSON	8	4	7
	49 FIRE	0	0	1
<b>TOTAL FOR GRID 1755</b>		<b>17</b>	<b>10</b>	<b>17</b>
		Reported: 18	Reported: 19	Reported: 27
		Not Reported: 54	Not Reported: 66	Not Reported: 95
<b>TOTAL EMERGENCY</b>		<b>72</b>	<b>85</b>	<b>122</b>



**MIAMI DADE POLICE DEPARTMENT**  
**57B - Summarized CFS Year Comparison By Call Type-Grid-Signal**  
**Z2014000048 Maria Fanti**  
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**PRIORITY**

Grid Code	CAD Signal Code	YTD 2013	LYTD 2012	P_LYTD 2011
<b>1713</b>	14 CONDUCT INVESTIGATION	4	7	6
	15 MEET AN OFFICER	0	0	1
	26 BURGLARY	1	0	2
	32 ASSAULT	1	1	1
	34 DISTURBANCE	1	2	1
	44 ATTEMPTED SUICIDE	0	1	2
	47 BOMB OR EXPLOSIVE ALERT	3	0	0
	49 FIRE	2	1	0
<b>TOTAL FOR GRID 1713</b>		<b>12</b>	<b>12</b>	<b>13</b>
<b>1714</b>	14 CONDUCT INVESTIGATION	7	8	7
	15 MEET AN OFFICER	0	0	3
	17 TRAFFIC ACCIDENT	0	0	1
	26 BURGLARY	2	1	2
	32 ASSAULT	1	2	11
	34 DISTURBANCE	5	2	11
	49 FIRE	1	3	0
<b>TOTAL FOR GRID 1714</b>		<b>16</b>	<b>16</b>	<b>35</b>
<b>1754</b>	14 CONDUCT INVESTIGATION	8	11	9
	15 MEET AN OFFICER	1	0	0
	17 TRAFFIC ACCIDENT	2	0	1
	26 BURGLARY	0	1	4
	32 ASSAULT	3	5	0
	34 DISTURBANCE	3	3	1
	47 BOMB OR EXPLOSIVE ALERT	0	2	0
	49 FIRE	0	3	1
<b>TOTAL FOR GRID 1754</b>		<b>17</b>	<b>25</b>	<b>16</b>
<b>1755</b>	14 CONDUCT INVESTIGATION	2	6	3
	15 MEET AN OFFICER	1	0	0
	17 TRAFFIC ACCIDENT	0	0	1
	26 BURGLARY	0	1	3
	32 ASSAULT	1	2	3
	34 DISTURBANCE	1	1	1
	49 FIRE	0	0	1
<b>TOTAL FOR GRID 1755</b>		<b>5</b>	<b>10</b>	<b>12</b>
		Reported: 10	Reported: 4	Reported: 23
		Not Reported: 40	Not Reported: 59	Not Reported: 53
<b>TOTAL PRIORITY</b>		<b>50</b>	<b>63</b>	<b>76</b>



**MIAMI DADE POLICE DEPARTMENT**  
**57B - Summarized CFS Year Comparison By Call Type-Grid-Signal**  
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**ROUTINE**

Grid Code	CAD Signal Code	YTD 2013	LYTD 2012	P_LYTD 2011
<b>1713</b>	13 SPECIAL INFORMATION/ASSIGNMENT	22	31	26
	14 CONDUCT INVESTIGATION	37	52	49
	15 MEET AN OFFICER	2	2	4
	16 D.U.I.	0	1	1
	17 TRAFFIC ACCIDENT	20	28	28
	18 HIT AND RUN	5	4	8
	19 TRAFFIC STOP	27	19	38
	20 TRAFFIC DETAIL	22	34	6
	21 LOST OR STOLEN TAG	2	1	2
	22 AUTO THEFT	0	5	1
	25 BURGLAR ALARM RINGING	133	158	136
	26 BURGLARY	23	28	28
	27 LARCENY	12	12	7
	28 VANDALISM	7	4	3
	32 ASSAULT	3	2	4
	33 SEX OFFENSE	1	1	1
	34 DISTURBANCE	64	51	47
	35 INTOXICATED PERSON - MYERS ACT	0	1	0
	36 MISSING PERSON	5	3	0
	37 SUSPICIOUS VEHICLE	25	18	16
	38 SUSPICIOUS PERSON	10	14	12
	39 PRISONER	0	0	1
	41 SICK OR INJURED PERSON	4	7	1
	43 BAKER ACT	2	8	6
	44 ATTEMPTED SUICIDE	0	2	1
	45 DEAD ON ARRIVAL	1	0	1
	49 FIRE	0	1	1
52 NARCOTICS INVESTIGATION	3	0	3	
54 FRAUD	6	8	8	
<b>TOTAL FOR GRID 1713</b>		<b>436</b>	<b>495</b>	<b>439</b>
<b>1714</b>	13 SPECIAL INFORMATION/ASSIGNMENT	30	32	40
	14 CONDUCT INVESTIGATION	52	54	74
	15 MEET AN OFFICER	7	2	5
	16 D.U.I.	2	5	2
	17 TRAFFIC ACCIDENT	35	46	90
	18 HIT AND RUN	8	10	5
	19 TRAFFIC STOP	28	31	20
20 TRAFFIC DETAIL	22	25	35	
21 LOST OR STOLEN TAG	1	0	4	



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Grid Code	CAD Signal Code	YTD 2013	LYTD 2012	P_LYTD 2011
1714	22 AUTO THEFT	4	8	6
	25 BURGLAR ALARM RINGING	116	104	106
	26 BURGLARY	37	34	24
	27 LARCENY	12	11	9
	28 VANDALISM	1	7	7
	29 ROBBERY	1	0	0
	32 ASSAULT	5	4	10
	33 SEX OFFENSE	0	0	3
	34 DISTURBANCE	62	123	129
	36 MISSING PERSON	3	2	2
	37 SUSPICIOUS VEHICLE	10	17	13
	38 SUSPICIOUS PERSON	4	11	8
	39 PRISONER	4	1	1
	41 SICK OR INJURED PERSON	4	9	0
	43 BAKER ACT	1	4	4
	45 DEAD ON ARRIVAL	1	1	3
	49 FIRE	3	0	0
52 NARCOTICS INVESTIGATION	8	3	4	
54 FRAUD	14	8	11	
<b>TOTAL FOR GRID 1714</b>		<b>475</b>	<b>552</b>	<b>615</b>
1754	13 SPECIAL INFORMATION/ASSIGNMENT	32	33	36
	14 CONDUCT INVESTIGATION	35	49	46
	15 MEET AN OFFICER	3	7	6
	16 D.U.I.	1	4	2
	17 TRAFFIC ACCIDENT	90	103	88
	18 HIT AND RUN	12	13	14
	19 TRAFFIC STOP	144	119	138
	20 TRAFFIC DETAIL	9	19	5
	21 LOST OR STOLEN TAG	1	1	0
	22 AUTO THEFT	0	0	4
	25 BURGLAR ALARM RINGING	73	72	77
	26 BURGLARY	12	17	21
	27 LARCENY	11	7	15
	28 VANDALISM	2	5	4
	29 ROBBERY	0	0	1
	32 ASSAULT	8	10	10
	33 SEX OFFENSE	0	2	1
	34 DISTURBANCE	44	57	30
	36 MISSING PERSON	1	0	0
37 SUSPICIOUS VEHICLE	9	5	14	



**MIAMI DADE POLICE DEPARTMENT**  
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Grid Code	CAD Signal Code	YTD 2013	LYTD 2012	P_LYTD 2011
<b>1754</b>	38 SUSPICIOUS PERSON	4	5	8
	39 PRISONER	5	2	3
	41 SICK OR INJURED PERSON	1	5	0
	43 BAKER ACT	2	1	0
	45 DEAD ON ARRIVAL	1	0	0
	49 FIRE	1	1	4
	52 NARCOTICS INVESTIGATION	1	3	0
	54 FRAUD	3	4	6
<b>TOTAL FOR GRID 1754</b>		<b>505</b>	<b>544</b>	<b>533</b>
<b>1755</b>	13 SPECIAL INFORMATION/ASSIGNMENT	24	10	11
	14 CONDUCT INVESTIGATION	11	18	20
	15 MEET AN OFFICER	2	0	4
	16 D.U.I.	3	2	2
	17 TRAFFIC ACCIDENT	73	80	56
	18 HIT AND RUN	1	3	3
	19 TRAFFIC STOP	50	36	18
	20 TRAFFIC DETAIL	4	6	3
	21 LOST OR STOLEN TAG	0	1	0
	22 AUTO THEFT	0	1	0
	25 BURGLAR ALARM RINGING	67	91	78
	26 BURGLARY	4	16	14
	27 LARCENY	2	3	5
	28 VANDALISM	1	7	7
	29 ROBBERY	0	1	2
	32 ASSAULT	3	1	4
	33 SEX OFFENSE	0	0	1
	34 DISTURBANCE	20	17	27
	36 MISSING PERSON	0	3	1
	37 SUSPICIOUS VEHICLE	7	11	12
	38 SUSPICIOUS PERSON	5	6	6
	39 PRISONER	1	0	0
	41 SICK OR INJURED PERSON	2	2	2
45 DEAD ON ARRIVAL	0	1	0	
52 NARCOTICS INVESTIGATION	0	1	0	
54 FRAUD	1	2	3	
<b>TOTAL FOR GRID 1755</b>		<b>281</b>	<b>319</b>	<b>279</b>
		Reported: 683	Reported: 804	Reported: 849
		Not Reported: 1014	Not Reported: 1106	Not Reported: 1017
<b>TOTAL ROUTINE</b>		<b>1697</b>	<b>1910</b>	<b>1866</b>
<b>GRAND TOTAL</b>		<b>1819</b>	<b>2058</b>	<b>2064</b>



**MIAMI DADE POLICE DEPARTMENT**  
**57B - Summarized CFS Year Comparison By Call Type-Grid-Signal**  
Report Filters



**Complaint Date Range:** Jan 1, 2013 - Dec 31, 2013

**Grid:** 1713, 1714, 1754, 1755

**Signal:** 13 SPECIAL INFORMATION/ASSIGNMENT, 14 CONDUCT INVESTIGATION, 15 MEET AN OFFICER, 16 D.U.I., 17 TRAFFIC ACCIDENT, 18 HIT AND RUN, 19 TRAFFIC STOP, 20 TRAFFIC DETAIL, 21 LOST OR STOLEN TAG, 22 AUTO THEFT, 23 CLEARANCE CHECK, 24 COMPLETE CHECK, 25 BURGLAR ALARM RINGING, 26 BURGLARY, 27 LARCENY, 28 VANDALISM, 29 ROBBERY, 30 SHOOTING, 31 HOMICIDE, 32 ASSAULT, 33 SEX OFFENSE, 34 DISTURBANCE, 35 INTOXICATED PERSON - MYERS ACT, 36 MISSING PERSON, 37 SUSPICIOUS VEHICLE, 38 SUSPICIOUS PERSON, 39 PRISONER, 40 SUBJECT POSSIBLY WANTED, 41 SICK OR INJURED PERSON, 42 AMBULANCE, 43 BAKER ACT, 44 ATTEMPTED SUICIDE, 45 DEAD ON ARRIVAL, 46 MEDICAL DETAIL, 47 BOMB OR EXPLOSIVE ALERT, 48 EXPLOSION, 49 FIRE, 50 ORGANIZED CRIME FIGURE, 51 NARCOTICS VIOLATOR, 52 NARCOTICS INVESTIGATION, 53 ABDUCTION, 54 FRAUD, 55 WEAPONS VIOLATION

**Agency:** MIAMI-DADE

**District:**

**Call Type:** PRIORITY, ROUTINE, EMERGENCY

**Primary Unit:** Primary Unit not contains '0000' 'SB' 'CR' or Primary Unit does not exists

**CDW Package**