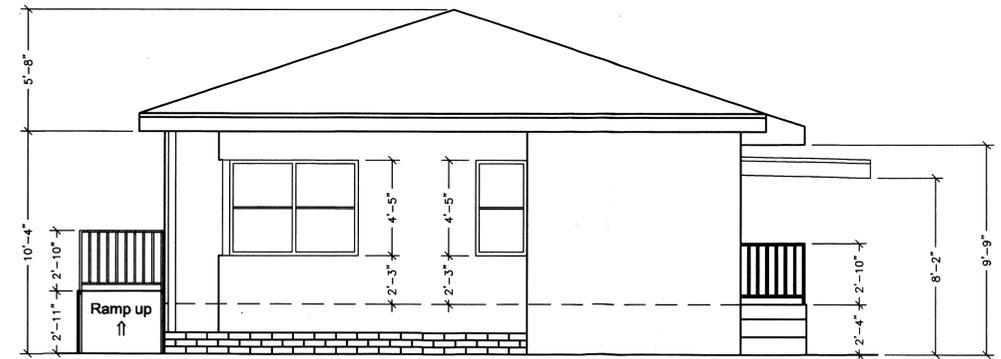


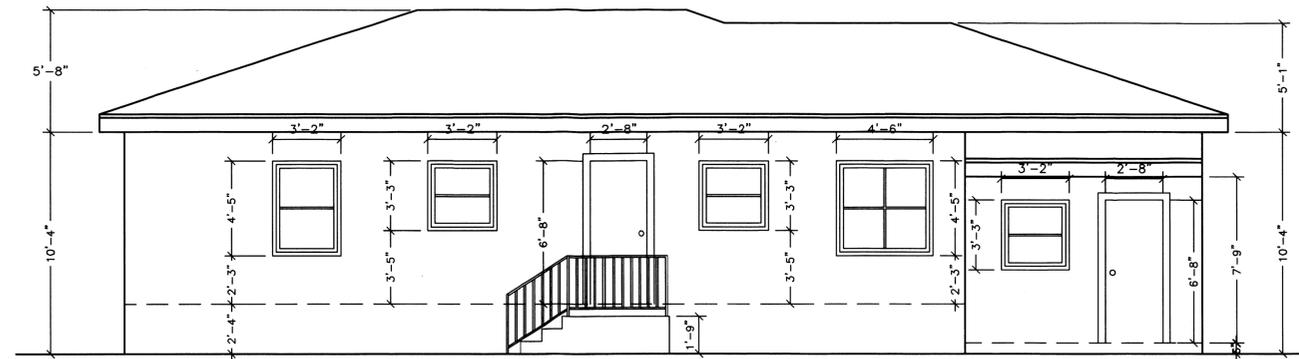
NORTH ELEVATION

SC: 1/4"=1'-0"



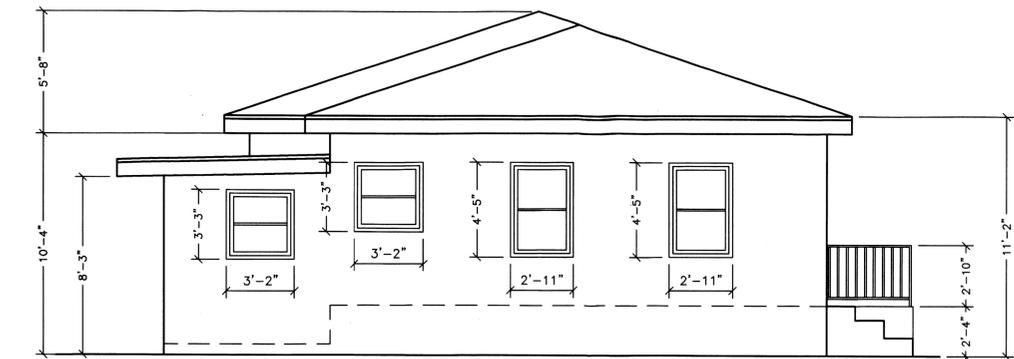
WEST ELEVATION

SC: 1/4"=1'-0"



SOUTH ELEVATION

SC: 1/4"=1'-0"



EAST ELEVATION

SC: 1/4"=1'-0"

**NESTOR J. CIFUENTES**  
 CONSULTING ENGINEER  
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PROPOSED SITE PLAN FOR  
 FOR  
**MR. DANNY MASSO**  
 6425 SW 24th STREET MIAMI, FL 33155

*[Signature]*  
 03-03-05

DATE  
 MARCH 12, 2004

COMMISSION NUMBER

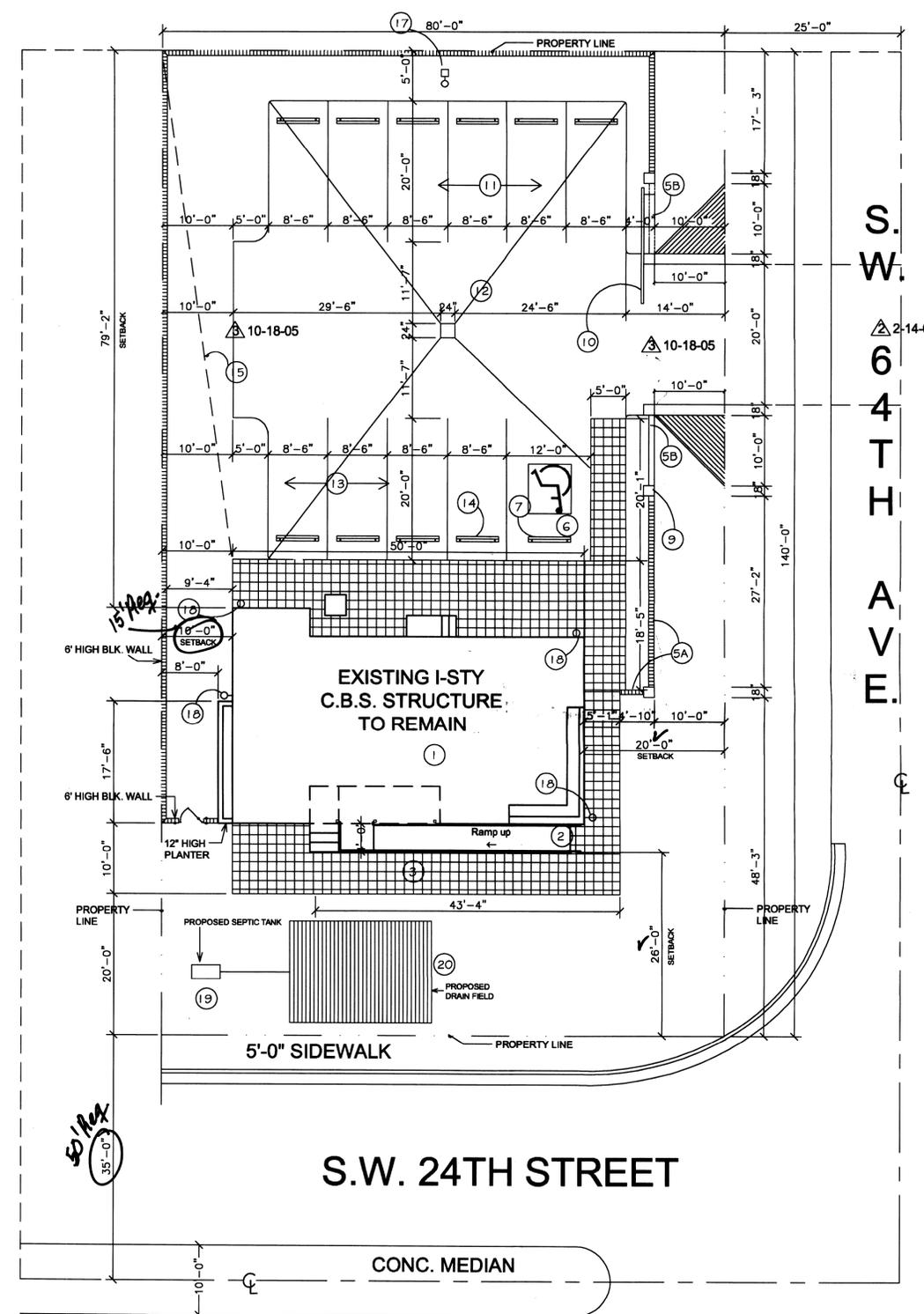
REVISIONS

SHEET NUMBER

**A-4**

A-4 OF A-4

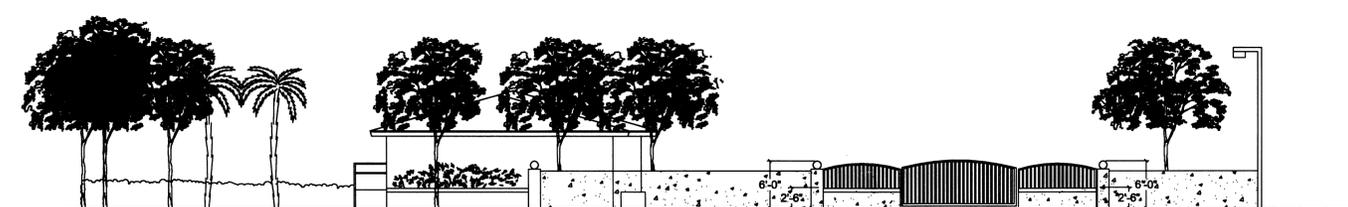
*REVISED*  
**RECEIVED**  
 204-43  
 MAR 14 2005  
 ZONING HEARINGS SECTION  
 MIAMI-DADE PLANNING AND ZONING DEPT.  
 BY *[Signature]*



**PROPOSED SITE PLAN**  
SC: 3/32"=1'-0"

S.W. 64TH AVE.

S.W. 24TH STREET



**PROPOSED ELEVATION**

SC: 3/32"=1'-0"

**MENU**

- 1 - EXISTING 1-STORY BUILDING TO REMAIN
- 2 - PROPOSED HANDICAPPED RAMP
- 3 - PROPOSED SIDEWALK IN FRONT OF BUILDING
- 4 - METAL DOOR
- 5 - CONCRETE FENCE
- 6 - HANDICAPPED PARKING SPACE
- 7 - HANDICAPPED SIGNAGE
- 8 - CHAIN LINK FENCE
- 9 - PROPOSED COLUMN WITH LIGHT (6'-0" HIGH)
- 10 - METAL GATE
- 11 - PARKING SPACES
- 12 - CATCH BASIN
- 13 - PARKING SPACES
- 14 - PARKING STOPS
- 15 - PROPOSED UNDERGROUND ELECTRICAL SERVICE
- 16 - EXISTING ELECTRICAL POST
- 17 - PROPOSED LIGHTING
- 18 - PROPOSED LIGHTING
- 19 - PROPOSED SEPTIC TANK
- 20 - PROPOSED DRAIN FIELD

- NEW ELECTRICAL UNDERGROUND SERVICE
- PARKING LOT LAMPS
- 1 LAMP FROM BUILDING
- LANDSCAPING
- HANDICAPPED RAMP AND SIGNAGE
- 11 PARKING SPACES 20'-0" X 8'-6"
- 1 HANDICAPPED PARKING SPACE 17'-0" X 12'-0"
- 8" CONC. BLK. WALL AROUND PARKING AREA
- PARKING AREA PAVING
- FRENCH DRAIN

**LOT DATA**

EXISTING 140' X 80' =	11,200 SQ.FT.	100%
MAX. LOT COVERAGE =	3,920 SQ.FT.	35%
EXISTING COVER=	1,382 SQ.FT.	12%
PROPOSED PARKING LOT =	6,337 SQ.FT.	57%
PROPOSED LANDSCAPING AREA =	4,192 SQ.FT.	37%

**SETBACKS**

	REQUIRED	PROVIDED
REAR=	25 FT.	79'-2" ✓
STREET SIDE =	15 FT.	20'-0" ✓
FRONT =	25 FT.	26'-0" ✓
INTERIOR SIDE=	15 FT.	10'-0" ✓

MIN. LOT WIDTH =	75 FT.	80'-0"
MIN. LOT AREA =	10,000 FT.	11,200 SQ. FT. ✓
FLOOR/AREA RATIO =	4,480 FT. MAX.	1,391'-0"

**SCOPE OF WORK**

REZONE EXISTING RU-1 TO A RU-5A ZONING FOR AN OFFICE.

**PARKING CALCULATION**

REQUIRES 1 PARKING PER 300 SQUARE FEET OF GROSS FLOOR AREA OR FRACTION THEREOF. GIVEN THE 1,382 SQUARE FEET BUILDING, 5 SPACES ARE REQUIRED.

1,382 DIVIDED BY 300 = 4.61 = 5 SPACES ✓

**LEGAL DESCRIPTION**

LOT 14 LESS THE SOUTH 10 FEET FOR ROAD & THE EAST 30 FEET OF LOT 15, LESS THE SOUTH 10 FEET FOR ROAD, TAMAMI ACRES PLAN 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, AT PAGE 74, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROJECT MANAGER & DESIGNER... GUILLERMO GARCIA  
CONSULTING ENGINEER... NESTOR CIFUENTES  
DRAFTSMAN... ANDREW ZAKIS

**ZONING HEARING PLANS REVIEW**

PLANS WITHIN THE SCOPE OF AD  
 PLANS NOT WITHIN THE SCOPE OF AD

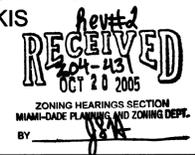
REVIEWED BY: *[Signature]*

ON: 10/20/05

ZONING EVALUATOR

PLANS ACCEPTABLE  
 NOT ACCEPTABLE

By: *[Signature]* 10/20/05

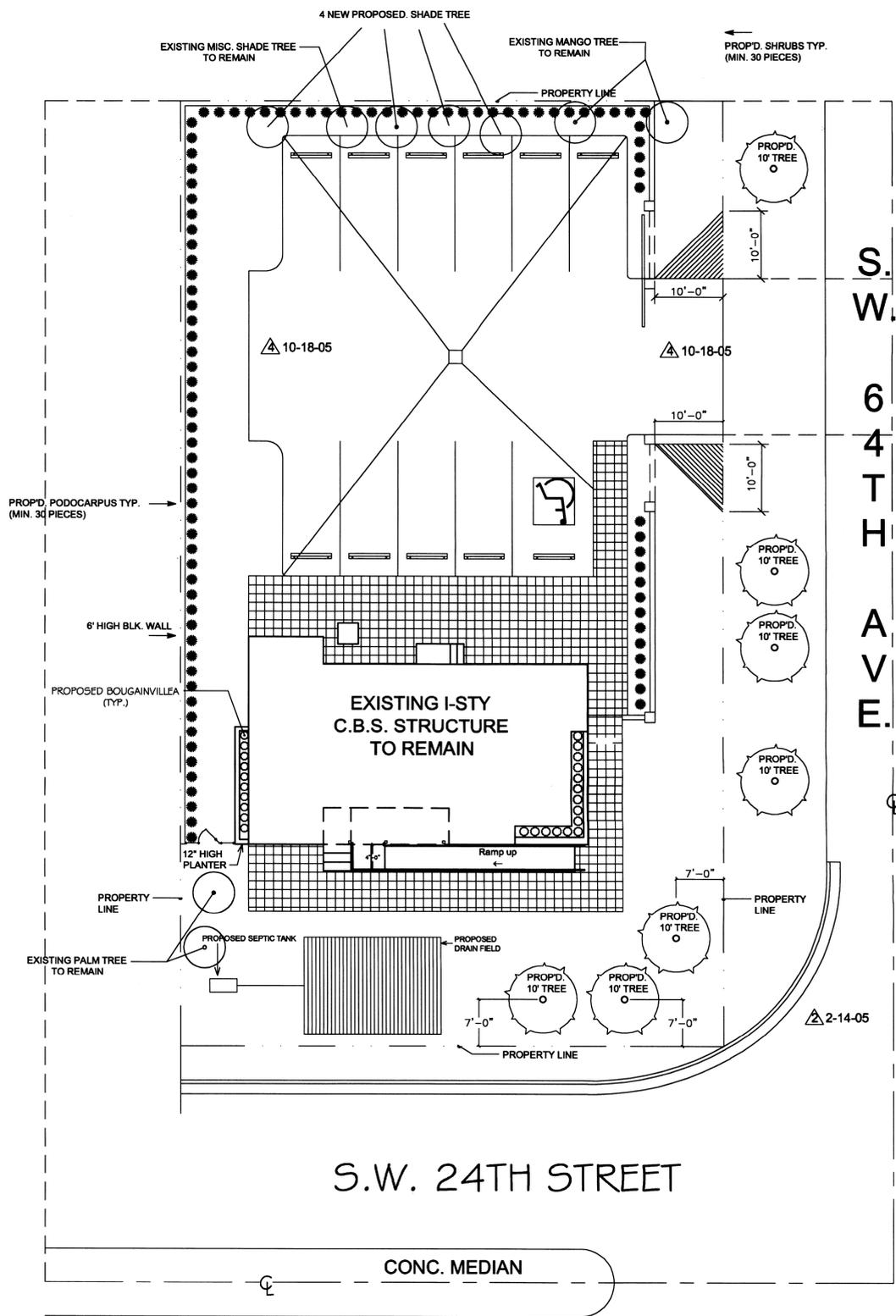


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PROPOSED SITE PLAN FOR  
FOR  
MR. DANNY MASSO  
6425 SW 24th STREET MIAMI, FL 33155

DATE	MARCH 12, 2004
COMMISSION NUMBER	
REVISIONS	
1-24-05	
2-14-05	
10-18-05	

SHEET NUMBER  
**A-1**  
A-1 OF A-4



LANDSCAPING SITE PLAN  
SC: 3/32"=1'-0"



**1.0 GENERAL SPECIFICATIONS**

- 1.1 The work encompassed by this contract includes:
  - 1.1.01 Landscape Planting.
  - 1.1.02 Landscape Irrigation.
  - 1.1.03 Landscape fill and incidental fine grading.
  - 1.1.04 Other items incidental to the project.
- 1.2 Verify all measurements quantities and dimensions before ordering materials or doing any work. The Contractor is responsible for difference between actual dimensions / quantities indicated on the drawings.
- 1.3 Coordinate the work of all trades.
- 1.4 The Owner will accept the project work when all construction and installation of plant materials has been made and meets specifications.
- 1.5 Furnish releases from subcontractors or proof of payment of all obligations to subcontractors at the time of submitting final draw on the contracted price.
- 1.6 Unit prices will be used for the purpose of add/deduct.

**2.0 PLANTING SPECIFICATIONS GENERAL**

- 2.1 The Contractor is responsible for any damage to plant materials during storage or planting.
- 2.2 Warrant periods:  
Trees and Palms 1 YEAR Shrubs and Ground covers 90 DAYS Sod 30 DAYS.
- 2.3 Height and spread dimensions specified refer to the main body of the plant and not from branch tip to tip. Measurements shall be taken with branches in normal position.
- 2.4 The Landscape Contractor shall test the pH reading of the soil for all planting areas and shall adjust the soil an appropriate pH for the indicated plan material.
- 2.5 The Landscape Contractor shall verify that the soil in all planting sites is suitable for the plant material specified investigation shall include:  
Soil water percolation, organic content, presence of contaminants or other soil characteristics that will affect the suitability of the soil to support normal healthy plant material.

**3.0 PLANTING SPECIFICATIONS PRODUCTS**

- 3.1 All plant materials to be "Florida No. 1" or better as defined by the latest addition of Florida Department of Agriculture or the Landscape Architect. The judgment of the Landscape Architect regarding materials quality shall be final. Plan nomenclature is according to the Standardized Plant Names (1942) by the American Joint Committee on Horticulture Nomenclatures.
- 3.2 All plants shall have been nursery grown, unless specifically authorized to be collected and shall be hardy under climactic conditions similar to those in the locality of the project be typical of their species or variety and shall have a normal habit of growth and shall be sound, healthy, and vigorous well blanching and densely foliated, and free of disease and insect pests eggs and larvae. They shall have a healthy well developed root system, if balled and burlaped, be dug with firm natural balls of earth of sufficient diameter and depth to include most of the fibrous roots, if container grown stock, have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. NO plants shall be loose in the container.
- 3.3 Planting soil shall consist of clean fill suitable for use as a planting medium, corrected to pH appropriate for each plant. Planting soil shall be free of construction debris, masonry washings, or other non-organic material.
- 3.4 All trees are to be staked.
- 3.5 Mulch shall be shredded Eucalyptus Mulch Grade 'B' or shredded pine applied in sufficient quantities to become 3" deep when fully matted unless superseded by specifications within notes.
- 3.6 Plant Lists and Materials Lists are provided for the convenience of the Contractor who shall be responsible for the provision and execution of everything shown on the Plans. The plans take precedence over the plant list.

**4.0 PLANTING SPECIFICATIONS: EXECUTION**

- 4.1 The Contractor is specifically informed that there are existing materials on the site some of which are to remain and some are to be removed. The Landscape Architect and the Contractor shall identify and mark the location of all existing material before the work commences.
- 4.2 All planting beds are to be slightly mounded fill at the rate of 1.6 to the center 1/3 of the planting area. Use approved planting soil mixture.
- 4.3 When materials are set, planting mixture backfill shall be completely "watered in" around bases of balls to fill all voids Tree guying and stacking shall be as detailed and done immediately after setting.
- 4.4 All materials shall be detailed to remove dead branches and to give the materials form. Pruning shall be done with clean sharp tools.
- 4.5 The limit of mulch for trees shall be the area of the pit and for shrubs in beds, the entire area of the shrub bed. The edge of the shrub bed is a distance from the outer plant row equal to 1/2 spacing of the plants.
- 4.6 Maintenance shall begin immediately after each plant is planted and shall continue until the installation of planting is complete and accepted by the owner. Plants shall be watered, mulched, weeded, pruned, sprayed, fertilized, cultivated and otherwise maintained and protected. Settled plants shall be reset to proper grade position, planting saucers restored and dead material removed. Guys shall be tightened and repaired. Maintenance includes regular mowing, edging, and pest control, as well as horticultural pruning.
- 4.7 The root system of all plants shall be watered at such intervals as will keep the surrounding soil in the best condition for promotion of root growth and plant life. It is understood that newly planted materials has water requirements beyond the quantities provided by the automatic irrigation system (if installed). Plant material indicating stress from dehydration shall be removed from the site and replaced at the expense of the Contractor.
- 4.8 Locations for Plants and outlines of areas to be planted shall be approved by the Owners representative before excavation is begun. The Landscape Contractor shall notify the Owner two days in advance.
- 4.9 The Landscape Contractor shall review the applicable architectural and engineering drawings and be familiar with the alignment of underground utilities and improvements before excavation work is begun.
- 4.10 Sidewalks streets and other paved areas shall be kept clean when planting and maintenance operations are in progress and the entire work area shall be cleaned at the end of each days work.

2-14-05

2-14-05

LANDSCAPE LEGEND  
ZONING DISTRICT: RU-5A NET LOT AREA: .257 ACRES 11,200 SQUARE FEET

	REQUIRED	PROVIDED
A. SQUARE FEET OF OPEN SPACE REQUIRED BY CHAPTER 33, AS INDICATED ON SITE PLAN: NET LOT AREA = 11,200 SQUARE FEET X .25 = 2,800 SQUARE FEET	2,800	3,809 ✓
B. SQUARE FEET OF PARKING LOT OPEN SPACE REQUIRED BY CHAPTER 19A, AS INDICATED ON SITE PLAN: THE NUMBER OF PARKING SPACES 14 X 10 SQUARE FEET PER PARKING SPACE =	140	140 ✓
C. TOTAL SQUARE FEET OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33 = A + B =	2,940	3,949 SQ. FT.
<b>LAWN AREA CALCULATION</b>		
A. 3949 TOTAL S.F. OF LANDSCAPED OPEN SPACE REQUIRED BY CHAPTER 33		
B. MAXIMUM LAWN AREA (SOD) PERMITTED = 30% X 3949 S.F. =		1184.7 ✓
<b>TREES</b>		
A. THE NUMBER OF TREES REQUIRED PER NET LOT ACRE LESS THE EXISTING NUMBER OF TREES THAT MEET MINIMUM REQUIREMENTS = 28 TREES X NET LOT ACREAGE (.257) =	28 (minus) 4	8 ✓
B. 30% PALM TREES ALLOWED (TWO PALMS = ONE TREE) PALMS PROVIDED =	2	2 ✓
C. PERCENTAGE OF NATIVE TREES REQUIRED = THE NUMBER OF TREES PROVIDED X 30% =	7	7 ✓
D. STREET TREES (MAX. AVERAGE SPACING OF 35' O.C.): 220 LINEAR FEET ALONG STREET, 35 =	N/A	N/A
E. PALMS AS STREET TREES (MAX. AVERAGE SPACING OF 25' O.C.): 0 LINEAR FEET ALONG STREET 25 =	N/A	N/A
F. STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MAXIMUM AVERAGE SPACING OF 25' O.C.):	N/A	N/A
G. TOTAL NUMBER OF TREES PROVIDED =	15	15 ✓
<b>SHRUBS</b>		
A. THE TOTAL NUMBER OF TREES REQUIRED X 10 = THE NUMBER OF SHRUBS REQUIRED	150	150 ✓
B. THE NUMBER OF SHRUBS REQUIRED X 30% = THE NATIVE SHRUBS REQUIRED	45	45 ✓

IRRIGATION PLAN: REQUIRED BY CHAPTER 33. AUTO IRRIGATION \_\_\_\_\_ OR HOSE BIBB \_\_\_\_\_ X PROVIDED.

TABLE CONTAINING INFORMATION AS INDICATED IN SAMPLE:

4-8-05

PLANT LIST						
SHRUBS & HEDGES	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE	SPACING
BOUGAINVILLEA	25	BOUGAINVILLEA SPECTABILIS, 'BARBARA KARST'	BOUGAINVILLEA	18"-24"	3 GAL.	36" O.C.
PODOCARPUS	TO FIT	PODOCARPUS MACROPHYLLA	PODOCARPUS	5'-0"	3 GAL.	TO FIT SO AS TO CREATE SOLID HEDGE
TREES	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	
Y.B.P.	2	CHRYSALIDOCARPUS LUTESCENS	YELLOW BUTTERFLY PALM	20-30 FT.	8-10 FT.	
M.T.	2	MANGIFERA INDICA	MANGO TREE	10-20 FT.	10-20 FT.	
TREE	2	BY OWNER	BY OWNER	10-20 FT.	8-10 FT.	

C:\DWG\Guillermo Garcia\LAND003.BMP

Guillermo Garcia\LAND002.BMP

**ZONING HEARING PLANS REVIEW**

PLANS WITHIN THE SCOPE OF AD  
 PLANS NOT WITHIN THE SCOPE OF AD

REVIEWED BY: *RA*

ON: 10/20/05

ZONING EVALUATOR

PLANS ACCEPTABLE  
 NOT ACCEPTABLE

By: *[Signature]* 10/20/05

**RECEIVED**

OCT 20 2005

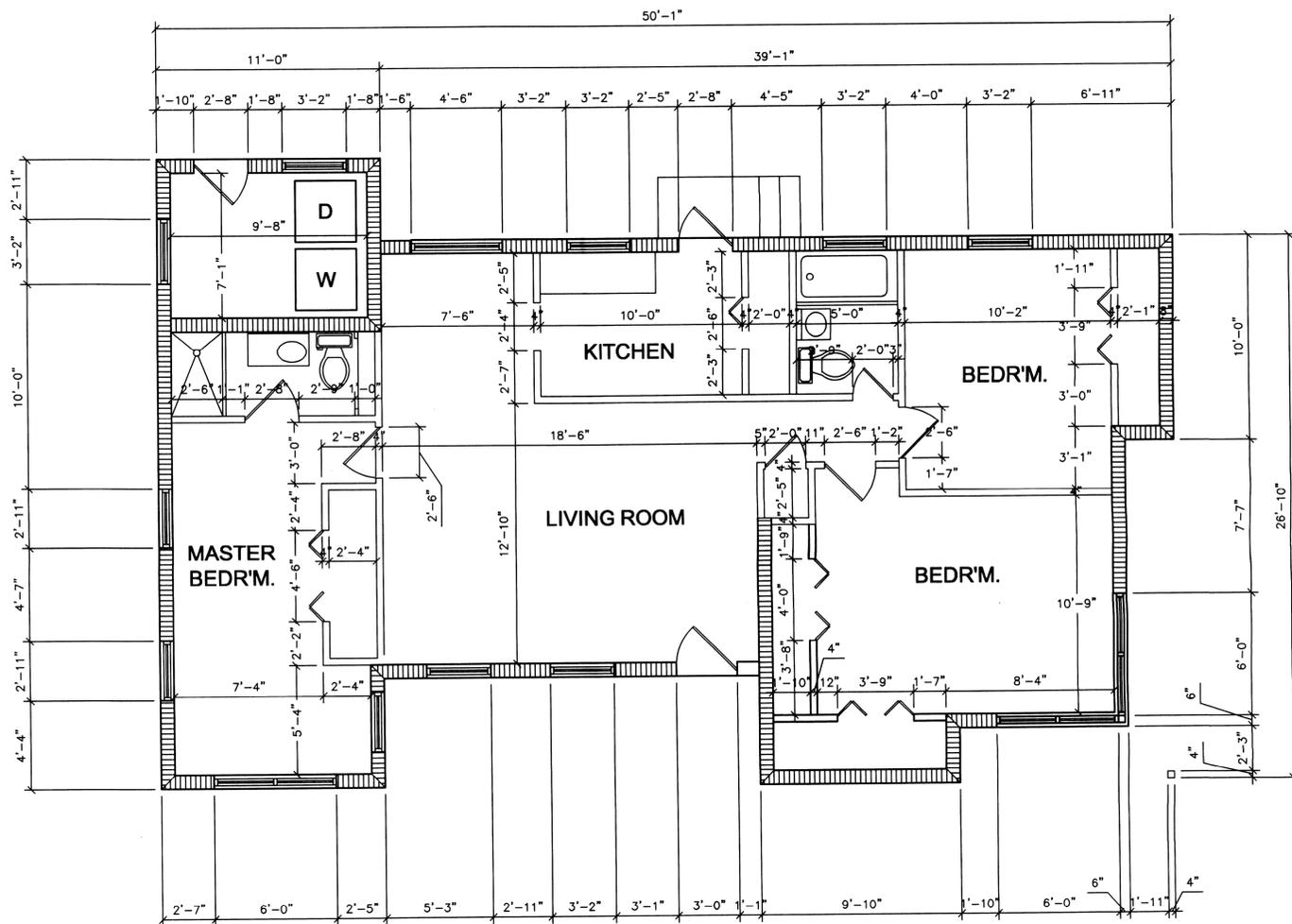
ZONING HEARINGS SECTION  
MIAMI-DADE PLANNING AND ZONING DEPT.

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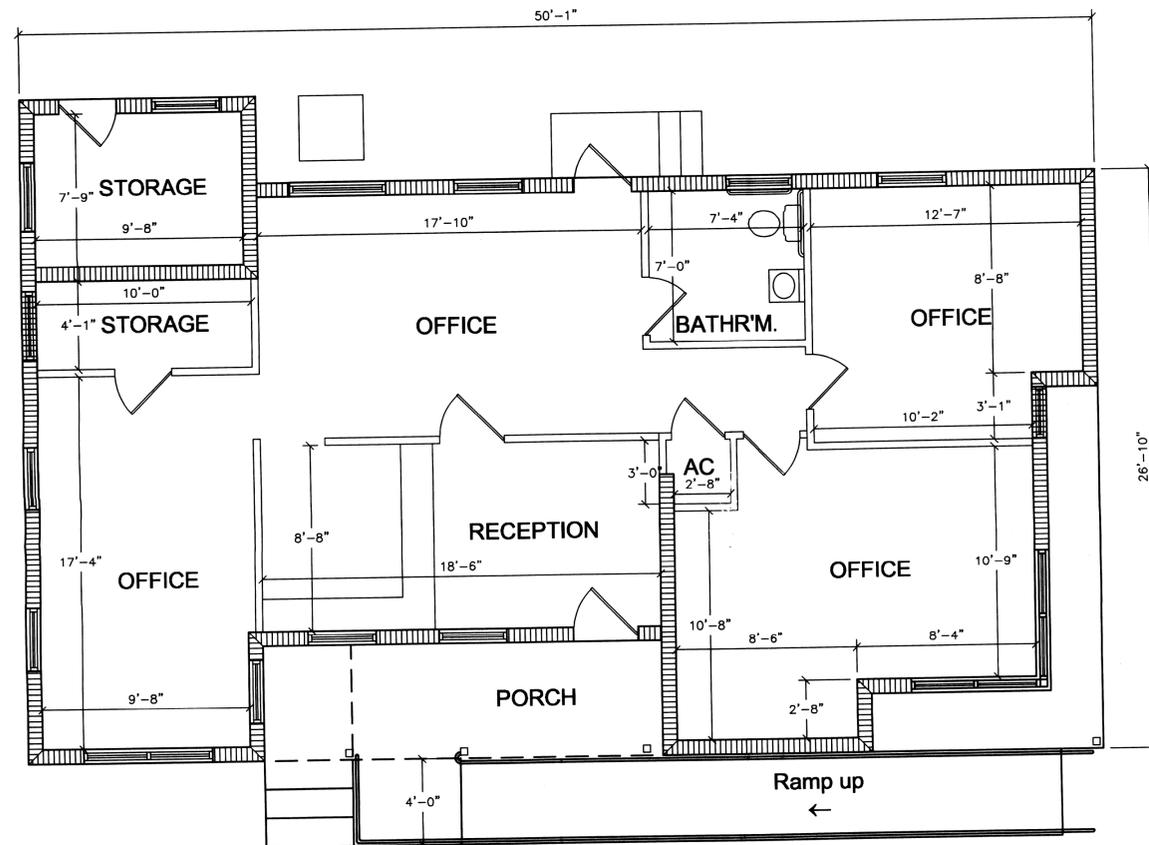
PROPOSED SITE PLAN FOR  
FOR  
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DATE	COMMISSION NUMBER
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REVISIONS	
1-24-05	
2-14-05	
4-8-05	
10-18-05	

SHEET NUMBER  
**A-2**  
A-2 OF A-4



EXISTING FLOOR PLAN  
SC: 1/4" = 1'-0"



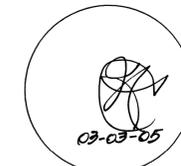
PROPOSED FLOOR PLAN  
SC: 1/4" = 1'-0"

1,343.903 sq ft  
+ 44 sq ft  
1,387.903 sq ft

Rev#1  
**RECEIVED**  
204-431  
MAR 14 2005  
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MIAMI-DADE PLANNING AND ZONING DEPT.  
BY: [Signature]

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	A-3 OF A-4